



MARY JANE LEE PARK - PHASE II

SALEM, MASSACHUSETTS

KIMBERLEY DRISCOLL, MAYOR



DRAWING LIST

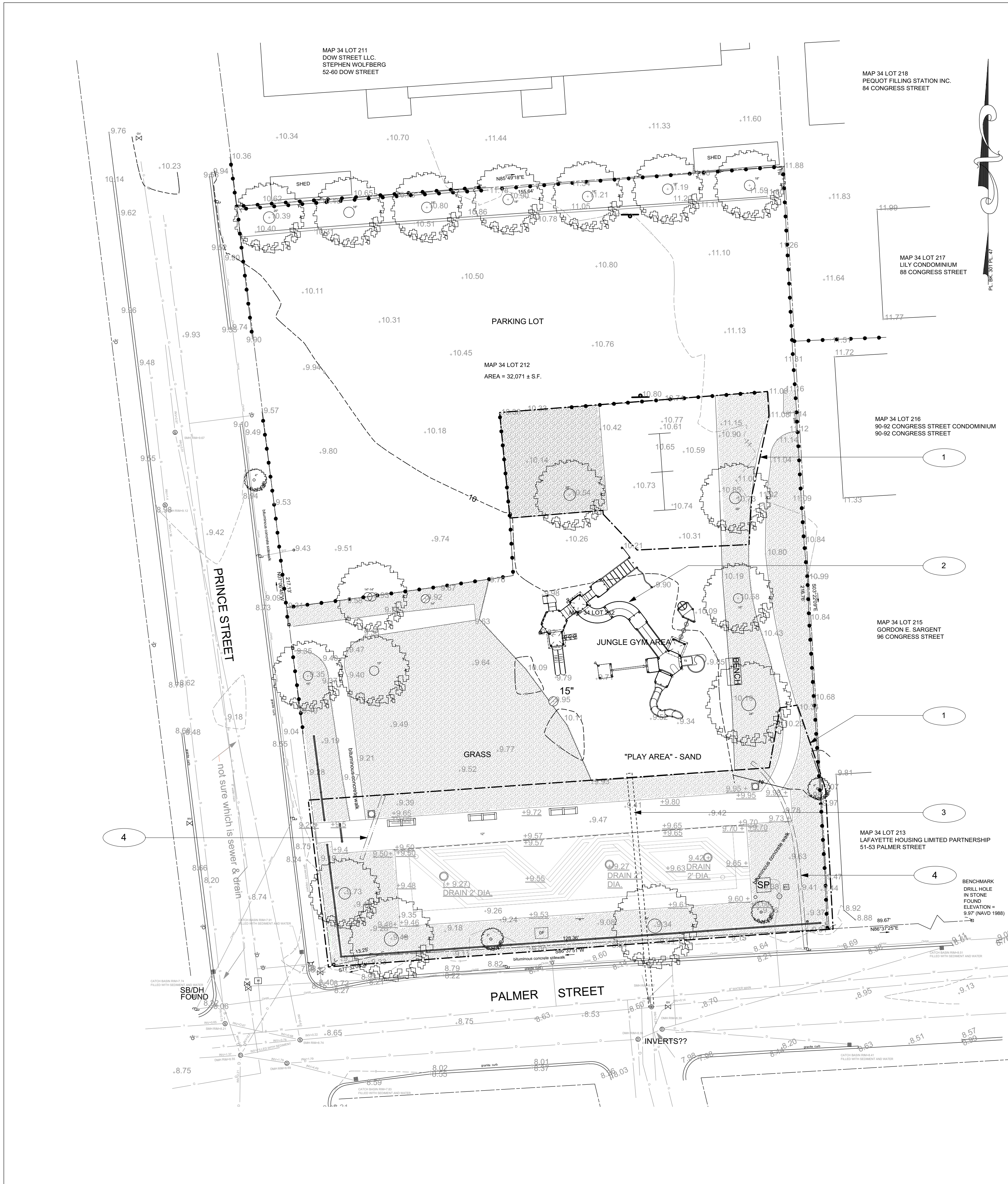
EC 1.0	EXISTING CONDITIONS PLAN
L 1.0	SITE DEMOLITION AND PREP PLAN
L 2.0	MATERIALS PLAN
L 2.1	LAYOUT PLAN
L 3.0	GRADING PLAN
L 4.0	PLANTING PLAN
L 5.0	PAVING DETAILS
L 5.1	FURNISHING DETAILS - BENCHES
L 5.2	FURNISHING DETAILS - SIGNS
L 5.3	FURNISHING DETAILS - FENCES
L 5.4	FURNISHING DETAILS - ADDITIONAL
L 5.5	PLAYBOOSTER DETAILS
L 5.6	PAINTED ASPHALT DETAILS
L 5.7	PLANTING DETAILS
A 100	PAVILION PLANS AND 3-D VIEWS
A 200	ELEVATIONS AND COLUMN DETAILS
A 500	DETAILS
E 0.1	ELECTRICAL SPECIFICATIONS SYMBOLS AND DETAILS
E 1.0	ELECTRICAL SITE PLAN

BID SET

July 20, 2016

MICHELLE CROWLEY LANDSCAPE ARCHITECTURE
281 SUMMER STREET, 6TH FLOOR
BOSTON, MA 02210
617.338.8400





GENERAL NOTES

- Existing conditions and topography data are combined from survey prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014 and Phase I construction documents.
- Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractors expense.
- Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
- Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
- Contractor to secure site with fence at end of each day's operations.

SURVEY NOTES

- ELEVATIONS ARE BASED ON NAVD OF 1988 DATUM.
 - UNDERGROUND UTILITIES ARE SHOWN BASED ON FIELD LOCATIONS, PLANS OF OPERATING AUTHORITIES AND A SKETCH OF THE DRAINAGE RECEIVED FROM PETER COPELAS, DATED AUGUST 1, 2001.
- THE UTILITIES SHOWN ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE AND DIAGRAMMATIC ONLY.
- DIGSAFE AGENCY SHOULD BE NOTIFIED TO DEMARCAT E UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OR EXCAVATION.

EXISTING CONDITIONS REFERENCE NOTES

- Plan shows improvements completed in Phase I. This is not an as-built drawing. Contractor to verify site conditions in field.
- Play equipment as represented by manufacturers drawing. Exact location to be verified in field.
- Approximate location of abandoned, capped sewer pipe. Approximate depth 4-5' below grade. Contractor to field verify location.
- Approximate location of conduit. Contractor to field verify.

EXISTING CONDITIONS LEGEND

SYM.	DESCRIPTION
	Existing Tree
	Existing Tree Stump
	Existing Lawn
	Existing Park Sign
	Existing Drinking fountain
	Existing Basketball hoop
	Existing bench with back
	Existing bench without back
	Existing trash can
	Pipe rail fence
	Chain Link Fence
	Drain
	Utility box
	Existing Major Contour
	Existing Minor Contour
	Existing Spot
	Spot Grades from Phase I CDs
	Electrical Conduit
	Abandoned, capped sewer pipe. (approx.)
	Existing Utility Lines



PROJECT:
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision

CONSULTANTS:
Jones Architecture
10 Derby Sq
Salem, MA

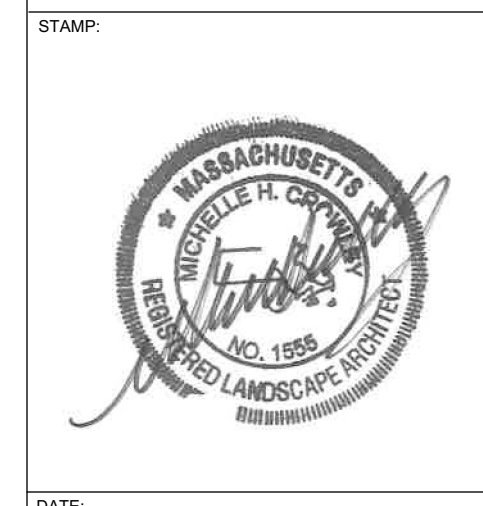
(978) 744-5200
www.jonesarch.com

BLW Engineers, Inc.
311 Great Rd,
Littleton, MA

(978) 486-4301
www.blwengineers.com/

mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St, 6th Floor
Boston, MA 02210

617.338.8400
www.michellecrowley-la.com

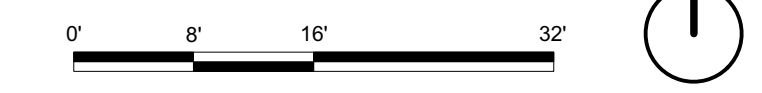


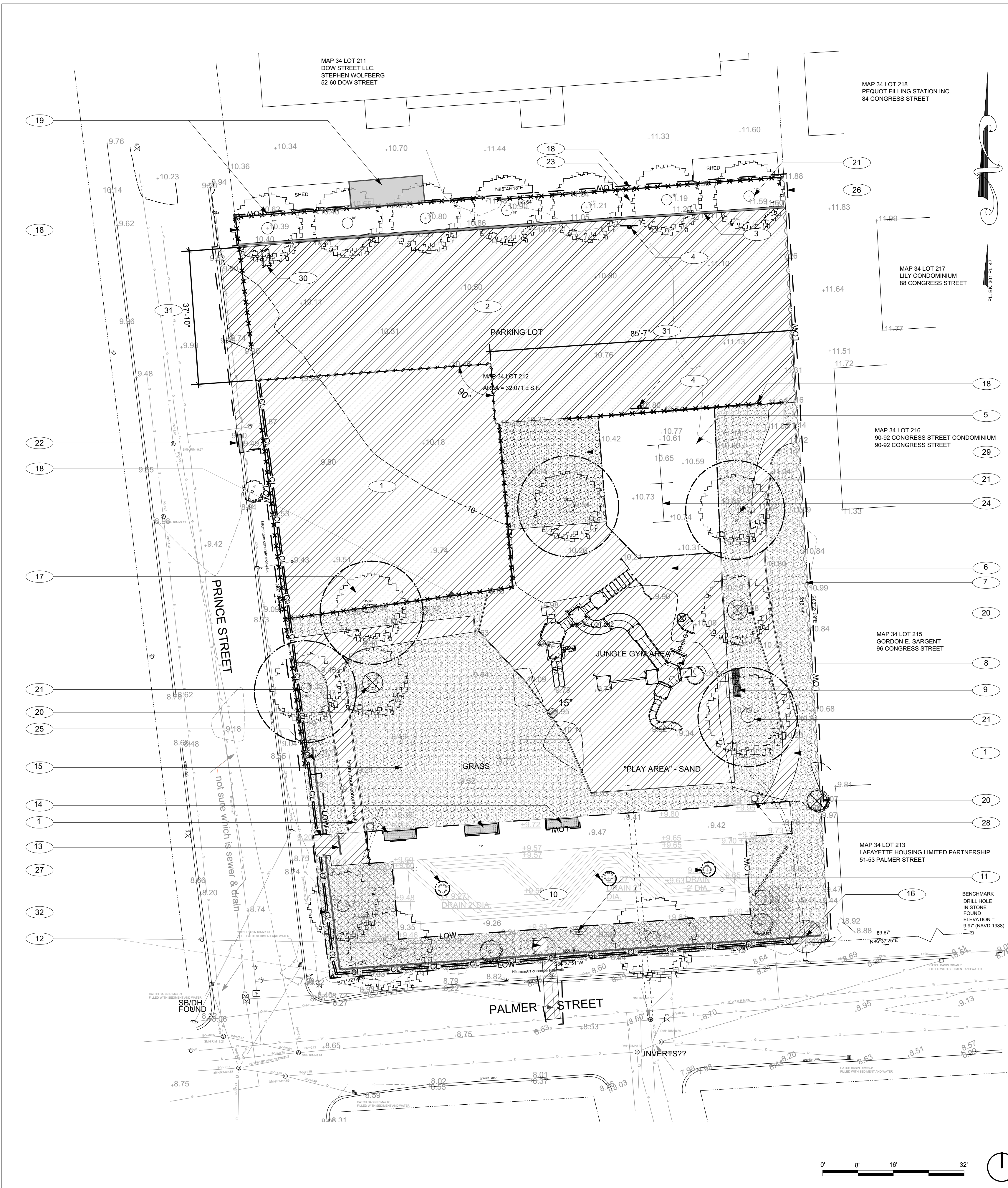
DATE:
July 20, 2016

PROJECT NUMBER: 1405.1 SCALE: 1/16" = 1'-0"

DRAWING TITLE:
Existing Conditions
Plan

EC1.0





SITE PREP AND DEMO REFERENCE NOTES

- 1 Remove Asphalt Parking and Paths Completely, including Base, in areas noted. Saw cut to ensure clean line for remaining asphalt. Contractor to measure and document the existing profile of asphalt in area to remove.
- 2 Mill Top Course of Asphalt Parking to Remain, Prep for Resurfacing
- 3 Asphalt Curb, Entire Length to Remain; Protect & Assume 10 LF of repair/patching, LA to mark in field
- 4 Remove Basketball Hoops
- 5 Protect Play Mulch
- 6 Remove Play Sand completely. Assume 12" depth, VIF
- 7 See 4/L.5.3 for instructions on demolition and salvage of chainlink fence on east property line.
- 8 See 1/L.5.5 for instructions on demolition and salvage of existing play structure.
- 9 Remove Wood bench, including footings to at least 6" below finished grade
- 10 Protect Splash Pad Area During Construction
- 11 Remove Park Sign and footing to 6" below finished grade. Salvage Dedication Plaque
- 12 Remove existing drinking fountain including footings to at least 6" below finished grade. Remove piping, cut and cap service at water main in street
- 13 Remove in-set section of pipe rail
- 14 Remove (3) Benches, Stockpile for Reuse. Patch asphalt
- 15 Strip and Stockpile Topsoil
- 16 Remove last pipe rail fence post, footing, and rail section at southeast corner of park and northern end of rail fence. Prep for new post and section.
- 17 Paving Removal Within Dripline of Elm Tree to be Done by Hand. See Spec for Root Treatment. Consult arborist for direction on trimming and limb up tree to allow for sidewalk clearance.
- 18 Remove chainlink fence, including posts, rails and mesh.
- 19 Dow Street contractor to remove arbor, top and bottom rails, and mesh of 6' chain link fence. Posts to remain. See 3/L.5.3
- 20 Remove Tree, pull or grind stump to 6" below grade.
- 21 Protect all trees to remain. Remove dead wood.
- 22 Salvage last segment of curb to re-use for curb cut. Remove asphalt to allow for curb extension.
- 23 Clean debris, weeds and volunteer vegetation under trees, prep for mulch.
- 24 Existing Swing to remain; prep for repainting and replace seats.
- 25 Remove last Pipe Rail Fence post and footing at Northern end of Rail Fence, prep for new post and sections.
- 26 Limit of work.
- 27 Protect existing drains
- 28 Existing trash receptacle to remain, protect.
- 29 Remove 14" below grade to allow for wood mulch outside limit of tree. See L2.1 for extents
- 30 Saw cut for bike rack footing. See L2.1 for layout.
- 31 Verify saw cut dimensions with L2.1
- 32 Install coir log for erosion control. Detail A, this sheet.

GENERAL NOTES

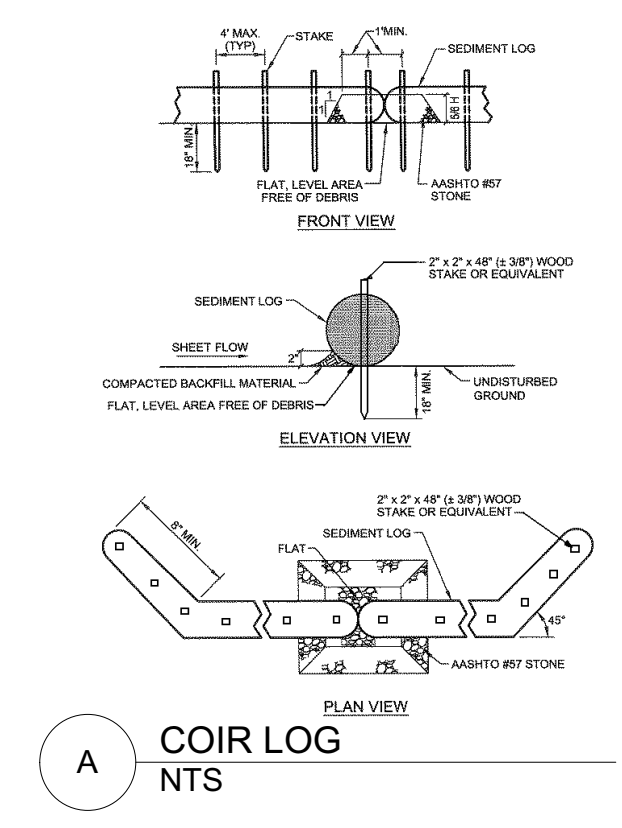
1. Existing conditions and topography data are combined from survey prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014 and Phase I construction documents.
2. Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractor's expense.
3. Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
4. Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
5. Contractor to secure site with fence at end of each day's operations.

SITE DEMOLITION NOTES

1. Contractor shall verify all existing conditions in the field and report any discrepancies between plans and actual conditions to Landscape Architect before beginning work.
2. Building, structure and paving removal shall include the disconnection and capping of any utilities, footings, slabs, associated base material and satisfactory off-site disposal of all debris produced through the removal operations.
3. Tree and shrub removal shall include the felling, cutting, grubbing out of roots and satisfactory off-site disposal of all stumps vegetative and extraneous debris produced through the removal operations.
4. Existing trees and shrubs to remain shall not be altered without express direction from certified arborist and must remain in the same condition as observed prior to construction unless otherwise noted.
5. No heavy machinery is to be used within the root system of existing trees. Excavation within root system zones is to be performed by hand.
6. Any items scheduled to remain which are damaged by Contractor's operations shall be at Contractor's expense.
7. Any items scheduled to be stockpiled on site which are damaged by Contractor's operations shall be at Contractor's expense.
8. Area for stockpiled items shall be located by Landscape Architect and approved by owner prior to removal operations.
9. Contractor shall leave work site free of any debris at the end of each day's operations.
10. Contractor shall maintain edge of roadway drainage patterns including replacement of paved and unpaved swales, berms, and curbs.
11. Contractor is responsible to install temporary and permanent pavement in streets and sidewalks. The contractor shall install temporary pavement on a daily basis and maintain temporary pavement for a minimum of 90 days except if temporary pavement is placed after October 15th, then it shall be maintained until April 15th of the following year unless directed otherwise by the engineer. Temporary centerline pavement paint shall be placed on the temporary pavement wherever existing paint is disturbed during construction.

SITE PREP AND DEMO LEDGEND

SYM.	DESCRIPTION
— L.O.W. —	Limit of Work
— P.L. —	Property Line
▨	Strip and Stockpile Topsoil
▨	Prep for re-seeding
▨	Remove
▨	Mill Top Coat
▨	Salvage
— CL —	Coir Log (DETAIL "A" THIS SHEET)
— S.C. —	Saw Cut
— C.L.F. —	Chain-link Fence to Remove
— C.L.F.M. —	Chain-link Fence - Remove Mesh Only
⊗	Remove Tree
⊙	Protect
⊙	Existing Tree
⊙	Existing Tree Stump
▨	Existing Lawn
▨	Existing Park Sign
▨	Existing Drinking fountain
▨	Existing Basketball hoop
▨	Existing bench with back
▨	Existing bench without back
▨	Existing trash can
▨	Pipe rail fence
▨	Asphalt curb
⊙	Drain
▨	Utility box
— 10 —	Existing Major Contour
— 14 —	Existing Minor Contour
+9.49	Existing Spot
+9.57	Designed spot (AB)
— E.C. —	Electrical Conduit
— E.C. —	Electrical Conduit
— U.L. —	Existing Utility Lines



PROJECT
**MARY JANE LEE PARK
 PHASE II**
 Palmer St
 Salem, MA 01970

BID SET
BID SET NOT FOR CONSTRUCTION

No. Date Revision
 CONSULTANTS:
 Jones Architecture
 10 Derby Sq
 Salem, MA
 (978) 744-5200
 www.jonesarch.com

BLW Engineers, Inc.
 311 Great Rd,
 Littleton, MA
 (978) 486-4301
 www.blwengineers.com/

mcla
 Michelle Crowley Landscape
 Architecture, LLC
 281 Summer St. 6th Floor
 Boston, MA 02210
 617.338.8400
 www.michellecrowley-la.com

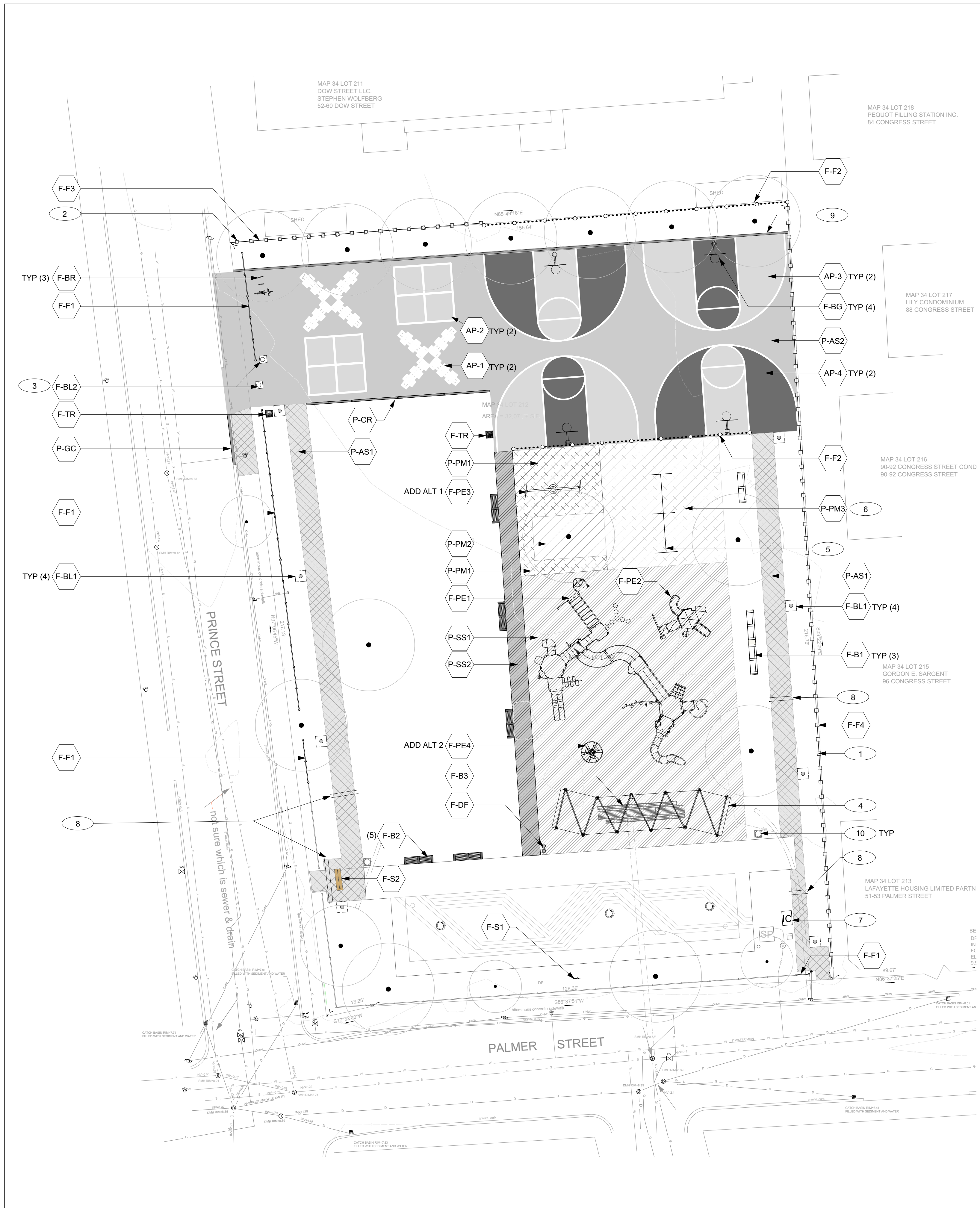
STAMP:

 DATE:
 July 20, 2016

PROJECT NUMBER: 1405.1
 SCALE: 1/16" = 1'-0"

DRAWING TITLE:
**Site Preparation
 and Demolition Plan**

L1.0



KEY NOTE	SYM.	DESCRIPTION	DETAIL SHEET	SPEC. SECTION(S)
P PAVING				
P-AS1	[Symbol]	Asphalt Paving - Pedestrian	1/L5.0	321216
P-AS2	[Symbol]	Asphalt Paving - Vehicular	2/L5.0	321216
P-CR	[Symbol]	Granite Curb - Raised	6/L5.0	321640
P-GC	[Symbol]	Granite Curb	7/L5.0	321640
P-PM1	[Symbol]	Wood Fiber Play Surfacing (BASE BID - ADD ALT 5 TO P-SS1)	4/L5.0	321640
P-PM2	[Symbol]	Wood Fiber Play Surfacing at Tree	5/L5.0	321817
P-PM3	[Symbol]	Wood Fiber Play Surfacing - Refresh (BASE BID - ADD ALT 5 TO P-SS1)		321817
P-SS1	[Symbol]	Rubber Cushioned Safety Surface	3/L5.0	321816
P-SS2	[Symbol]	Rubber Cushioned Safety Surface 2	3/L5.0	321816
F FURNISHING				
F-B1	[Symbol]	Relocated Bench with Back	1/L5.1	129300
F-B2	[Symbol]	Backless Bench	2/L5.1	129300
F-B3	[Symbol]	Picnic Tables and Benches	3/L5.1	129300
F-BG	[Symbol]	Basketball Goal and Hoop		116816
F-BL1	[Symbol]	Bollard Light	1/L5.4	265200
F-BL2	[Symbol]	Removable Bollard	2/L5.4	129300
F-BR	[Symbol]	Bike Rib - Bicycle Rack	5/L5.4	129300
F-DF	[Symbol]	Drinking Fountain	6/L5.4	224713
F-F1	[Symbol]	Pipe Rail fence	1/L5.3	323120
F-F2	[Symbol]	8' New Chain Link Fence	2/L5.3	323113
F-F3	[Symbol]	Chain Link Fence Renovation North	3/L5.3	323113
F-F4	[Symbol]	Chain Link Fence Renovation East	4/L5.3	323113
F-PE1	[Symbol]	Play Equipment - PlayBooster System	1,2/L5.5	116816
F-PE2	[Symbol]	Play Equipment - Atlas Play Structure		116816
F-PE3	[Symbol]	Play Equipment - Tire Swing (ADD ALT 1)		116816
F-PE4	[Symbol]	Play Equipment - Spinami (ADD ALT 2)		116816
F-S1	[Symbol]	Park Sign	1/L5.2	101430
F-S2	[Symbol]	Community Kiosk and Interpretive Sign Panels	2/L5.2	101430 129300
F-TR	[Symbol]	Trash Receptacle	7/L5.4	129300
[Symbol]	[Symbol]	Existing Trash Receptacle		
AP ASPHALT PAINTING				
AP-1	[Symbol]	Asphalt Paint- Hopscotch	1/L5.6	321823
AP-2	[Symbol]	Asphalt Paint- Four Square	2/L5.6	321823
AP-3	[Symbol]	Asphalt Paint- Basketball Color 1	3/L5.6	321823
AP-4	[Symbol]	Asphalt Paint- Basketball Color 2	4/L5.6	321823
EXISTING				
[Symbol]	[Symbol]	Existing Tree to Remain		
[Symbol]	[Symbol]	Existing Major Contour		
[Symbol]	[Symbol]	Existing Minor Contour		
[Symbol]	[Symbol]	Electrical Conduit		
[Symbol]	[Symbol]	Abandoned Sewer Pipe		
[Symbol]	[Symbol]	Existing Utility Lines		

ADD ALT #	DESCRIPTION
1	TIRE SWING
2	SPINAMI
5	RUBBERIZED CUSHIONED SAFETY SURFACE - SUBSTITUTE FOR WOOD FIBER PLAY SURFACE IN AREA (P-PM1) AND (P-PM3) ONLY.

GENERAL NOTES

- Existing conditions and topography data are combined from survey prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014 and Phase I construction documents.
- Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractor's expense.
- Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
- Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
- Contractor to secure site with fence at end of each day's operations.

MATERIALS REFERENCE NOTES	
1	See 4/L5.3 renovation to fence on east property line
2	See 3/L5.3 for renovation to fence on north property line.
3	(1) Bollard and (2) Bollard receptacles
4	See drawings A100, A200, A500 for Pavillion construction
5	Existing swingset to be re-painted to match Play Booster Poles, provide (4) new swings, see Play Equipment spec for details
6	Refresh existing play mulch, add to restore proper grade as needed.
7	Irrigation cabinet, design build. LA to confirm location in field.
8	Provide conduits under new asphalt paths for irrigation.
9	Existing curb to remain
10	Existing trashcan to remain



PROJECT:
MARY JANE LEE PARK
PHASE II
Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. _____ Date _____ Revision _____

CONSULTANTS:
Jones Architecture
10 Derby Sq
Salem, MA
(978) 744-5200
www.jonesarch.com

BLW Engineers, Inc.
311 Great Rd,
Littleton, MA
(978) 486-4301
www.blwengineers.com/

mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St, 6th Floor
Boston, MA 02210
617.338.8400
www.michellecrowley-la.com

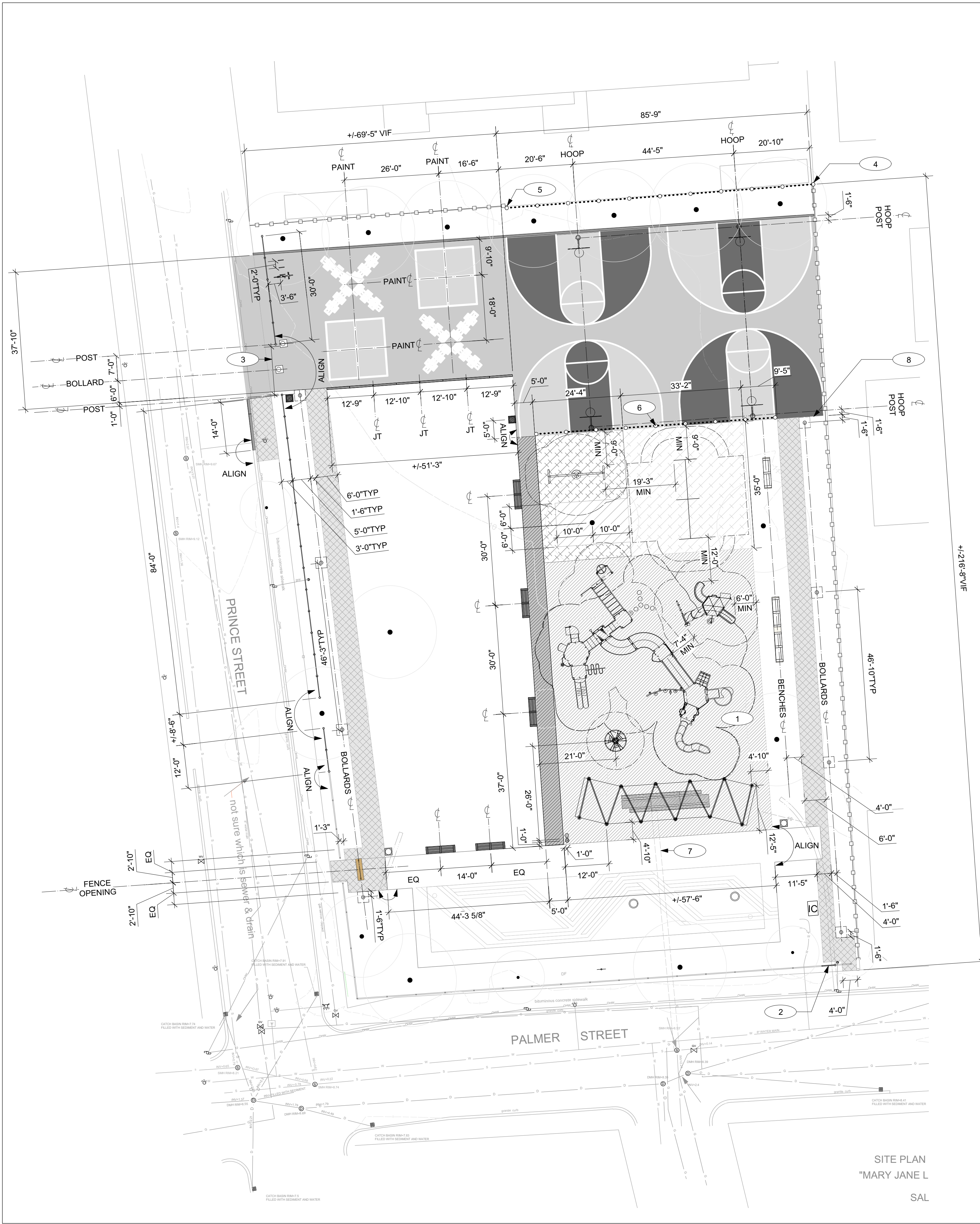


DATE:
July 20, 2016

PROJECT NUMBER: 1405.1 SCALE: 1/16" = 1'

DRAWING TITLE:
MATERIALS PLAN

L2.0



SITE PLAN
 MARY JANE L
 SAL

LAYOUT LEGEND

SYM.	DESCRIPTION
ANNOTATIONS	
	Centerline
	Align
	Equipment Fall Zone -VIF
PAVING	
	Asphalt Paving - Pedestrian
	Asphalt Paving - Vehicular
	Granite Curb - Raised
	Granite Curb
	Wood Fiber Play Surfacing
	Wood Fiber Play Surfacing at Tree
	Wood Fiber Play Surfacing - Refresh
	Rubberized Play Surface
	Rubberized Play Surface 2
FURNISHING	
	Relocated Bench with Back
	Backless Bench
	Picnic Bench & Table
	Accessible Picnic Bench & Table
	Basketball Hoop
	Bollard Light
	Removable Bollard
	Bike Rib - Bicycle Rack
	Drinking Fountain
	Pipe Rail fence
	Chain Link Fence Renovation North
	Chain Link Fence Renovation East
	10' New Chain Link Fence
	Community Kiosk Sign
	Park Sign
	Trash receptacle
	Existing Trash Receptacle
ASPHALT PAINTING	
	Asphalt Paint- Hopsotch
	Asphalt Paint- Four Square
	Asphalt Paint- Basketball Alt1
	Asphalt Paint- Basketball Alt2
EXISTING	
	Existing Tree to Remain
	Existing Major Contour
	Existing Minor Contour
	Electrical Conduit
	Abandoned Sewer Pipe
	Existing Utility Lines

GENERAL NOTES

- Existing conditions and topography data are combined from survey prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014 and Phase I construction documents.
- Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractors expense.
- Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
- Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
- Contractor to secure site with fence at end of each day's operations.

LAYOUT NOTES

- Do not scale drawings.
- Contractor shall verify all existing conditions and layout dimensions in the field. Report any discrepancies to the Landscape Architect for design prior to commencing construction.
- Stake or otherwise flag all design elements and features in the field. Obtain Landscape Architect's approval prior to commencing construction.
- All dimensions from structure are from face of finish of exterior wall unless otherwise stated.
- All angles are assumed to be 90 degrees unless otherwise stated.
- See planting plans for location of trees and shrubs, planting beds and extent of sodding and seeding.
- See architectural drawings for all building dimensions.
- Dimensions at curbs of pavement edging are given from outside face of curb to outside face of curb unless otherwise stated.
- Any changes proposed to dimensions shown on this drawing shall be approved by the Landscape Architect prior to construction.

LAYOUT REFERENCE NOTES

- No structures within manufacturer's defined fall zones for any play equipment.
- Size length of rail to allow for 4' clear between existing wood post and new end post of pipe rail fence. Use existing rail and new posts.
- Minimum 12' clear between northern bollard position and fence post/trash can.
- (10) Equal panels of 10' high chain link fence to begin at finish of existing 8' fence, aligned with property line.
- No passable gap between rehabbed 6' fence and new 10' fence. VIF.
- (8) Equal panels of 10' high chain link fence centered between asphalt path and play surface path, located within asphalt paving behind basketball hoops, aligned with paving edge.
- Approximate locatio of abandoned, capped sewer pipe. Approximate depth 4'-5' below grade. Contractor to field verify location and perform pavilion and associated work without damaging pipe. Notify LA if conflict with pavilion or discrepancy with location is found.
- Existing edge of pavement



PROJECT:
 MARY JANE LEE PARK
 PHASE II
 Palmer St
 Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision
 CONSULTANTS:
 Jones Architecture
 10 Derby Sq
 Salem, MA

(978) 744-5200
 www.jonesarch.com

BLW Engineers, Inc.
 311 Great Rd,
 Littleton, MA

(978) 486-4301
 www.blwengineers.com/

mcla
 Michelle Crowley Landscape
 Architecture, LLC
 281 Summer St, 6th Floor
 Boston, MA 02210

617.338.8400
 www.michellecrowley-la.com



DATE:
 July 20, 2016

PROJECT NUMBER: 1405.1 SCALE: 1/16" = 1'

DRAWING TITLE:
 LAYOUT PLAN

L2.1





GRADING LEGEND	
SYM.	DESCRIPTION
---10---	Existing Major Contour
---9---	Existing Minor Contour
---10---	Proposed Major Contour
---11---	Proposed Minor Contour
-10.42	Surveyed Spot Elevation
+9.65	Phase I Designed Spot Elevation (AS BUILT - VIF)
FLUSH	Surfaces to Align
1.0% MIN	Minimum Pitch - No Low Points
TC / 12.03	Top of Curb
BC / 11.53	Bottom of Curb
---	Grade Break
---	Existing Drain
---	Existing Utility Lines
PAVING	
---	Asphalt Paving - Pedestrian
---	Asphalt Paving - Vehicular
---	Granite Curb - Raised
---	Granite Curb
---	Play Mulch
---	Poured-in-place Playsurfacing
---	Poured-in-place Playsurfacing 2
FURNISHING	
---	Bench with Back
---	Backless Bench
---	Picnic Bench
---	Basketball Hoop
---	Bollard Light
---	Removable Bollard
---	Bike Rib - Bicycle Rack
---	Drinking Fountain
---	Pipe Rail fence
---	Chain Link Fence Rehab
---	10' New Chain Link Fence
---	Community Kiosk Sign
---	Park Sign
---	Trash receptacle

DESIGN INTENT

Play surfacing, walks, and lawn areas to be flush with existing splash pad and original parking lot asphalt spot elevations. Pitch evenly between. No low points. Contractor to verify grades in field and notify LA of any conflicts between existing grades and design intent.

- GENERAL NOTES**
- Existing conditions and topography data are combined from survey prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014 and Phase I construction documents.
 - Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractors expense.
 - Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
 - Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
 - Contractor to secure site with fence at end of each day's operations.
- GRADING NOTES**
- Contractor shall verify all existing grades in the field and report any discrepancies immediately to the landscape architect.
 - Stake proposed finish grade and cut/fills of existing grade in the field. Obtain Landscape Architect's approval prior to commencing construction.
 - Slope away from all buildings.
 - Provide vertical curves or roundings in grade unless otherwise noted. Blend new earthwork smoothly into existing grades.
 - Maintain existing grades at existing plant material to remain
 - Grade surfaces to assure positive drainage from all structures and to prevent ponding of surface drainage.
 - All fill material is subject to approval by Landscape Architect.
 - Pitch evenly between spot grades. All paved areas must pitch to drain at a minimum 1% slope.
 - Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.
 - Once grading operations are completed, all disturbed areas within or outside of the limits of work shall be stabilized by fine grading and seeding, sod or mulching as indicated on plan and directed by the Landscape Architect.
 - All erosion control measures are to be constructed to meet field conditions at the time of construction and prior to any grading or disturbance of existing material on balance of site.



PROJECT:
**MARY JANE LEE PARK
 PHASE II**
 Palmer St
 Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. _____ Date _____ Revision _____

CONSULTANTS:
Jones Architecture
 10 Derby Sq
 Salem, MA
 (978) 744-5200
 www.jonesarch.com

BLW Engineers, Inc.
 311 Great Rd,
 Littleton, MA
 (978) 486-4301
 www.blwengineers.com/

mcla
 Michelle Crowley Landscape
 Architecture, LLC
 281 Summer St, 6th Floor
 Boston, MA 02210
 617.338.8400
 www.michellecrowley-la.com



DATE:
 July 20, 2016

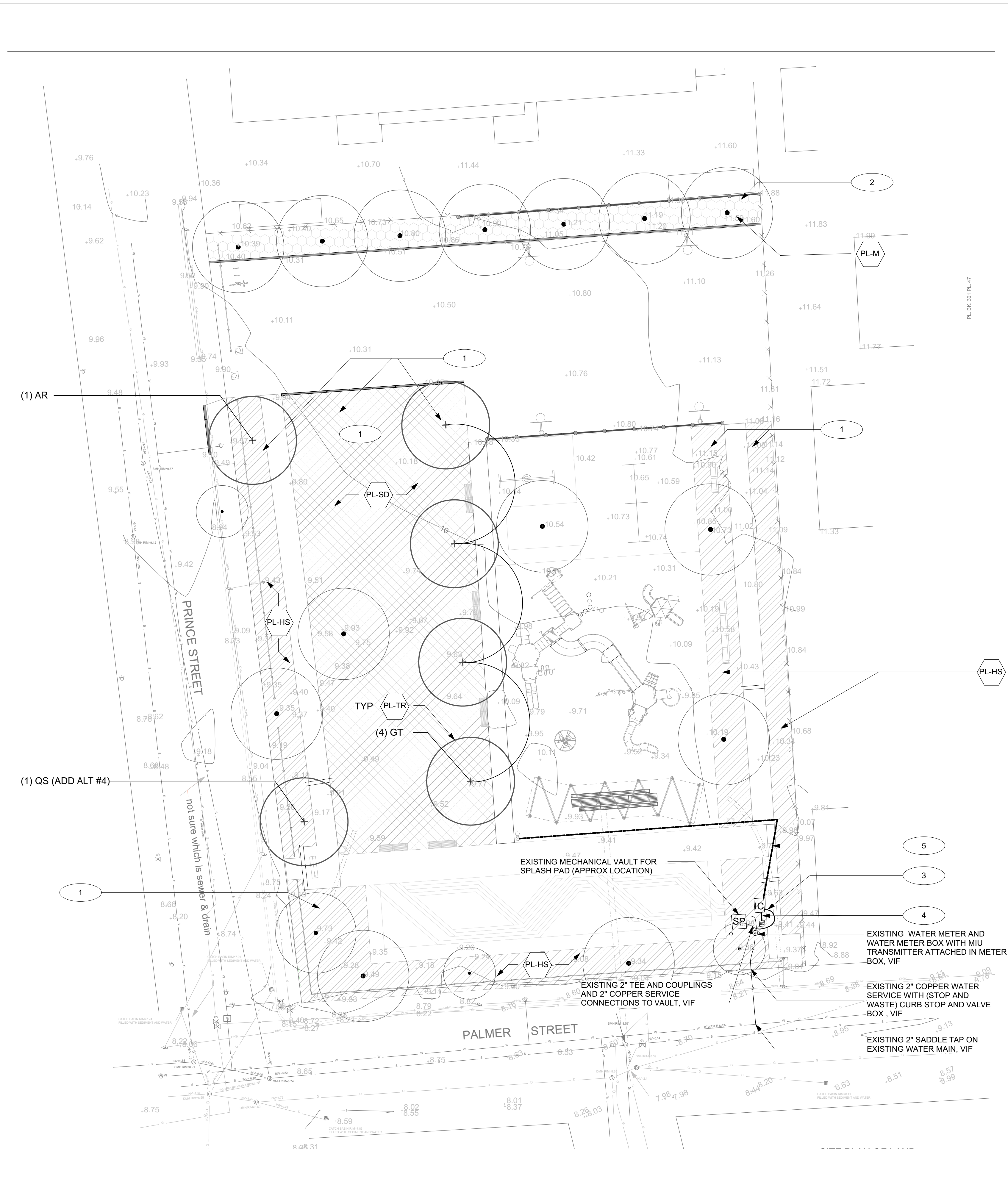
PROJECT NUMBER:
 1405.1

SCALE:
 1/16" = 1'

DRAWING TITLE:
GRADING PLAN

L3.0





- PLANTING REFERENCE NOTES**
- 1 Provide sprinkler heads for all lawn and new trees.
 - 2 No irrigation in northern tree bed.
 - 3 Irrigation system shall branch off from existing water source after existing water meter.
 - 4 Hard wire irrigation timer and clock to existing electrical service within existing electrical cabinet.
 - 5 Water line for drinking fountain

GENERAL NOTES

1. Existing conditions and topography data are combined from survey prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014 and Phase I construction documents.
2. Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractors expense.
3. Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
4. Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
5. Contractor to secure site with fence at end of each day's operations.

PLANTING NOTES

1. The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on all drawings.
2. Contractor shall verify all existing conditions in the field. Report any discrepancies to the Landscape Architect for design prior to commencing planting.
3. All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock" published by the American Nursery and Landscape Association, latest edition.
4. All plants shall be balled and burlap unless otherwise noted on the plant list.
5. All plants shall be approved by Landscape Architect prior to their installation at the site.
6. Contractor shall stake all plant locations in the field. Obtain approval of Landscape Architect before starting plant installations.
7. Plants to be transplanted shall be flagged and exact planting locations staked in the field.
8. All areas disturbed by construction activities are to be fine graded and seeded or sod, see plan.

IRRIGATION NOTES

1. Site contractor to provide and install all sleeving for all irrigation work. Irrigation contractor shall provide all piping, valves and valve boxes, and quick couplers for installation of all irrigation work.
2. An As-Built plan shall be produced by the contractor after final installation.
3. Installation methods shall comply with all manufacturers, state and local code.
4. Contractor shall review and coordinate All pipe and valve locations with Landscape Architect for approval prior to installation
5. Quick coupling valves shall be installed on one-inch PVC swing joints with brass inserts and stabilizers
6. Contractor shall test dynamic pressure before starting work, report any deviation from pressure required to Landscape Architect before continuing.
7. Coordinate location of all existing and future utilities on site and contact proper authorities and utility companies before start of work.
8. Install automatic flush ports at lowest point of PVC exhaust header.
9. Install air vacuum/relief valves at high point of PVC piping.
10. Contractor to submit shop drawings to the Landscape Architect for approval prior to ordering material and beginning work.
11. Any and all material substitutions which vary from the specified products must be submitted to Landscape Architect for approval as part of the submittal process.
12. Contractor to care for any plantings in and around irrigation installation operations. Any damage to root zones or limbs of any plantings and existing trees may result in replacement of plant material by the contractor.

KEY NOTE	SYM.	DESCRIPTION	DETAIL/SHEET	SPEC. SECTION(S)
PL-SD	[Symbol]	Sod	2/L5.7	329200
PL-HS	[Symbol]	Hydroseeded Lawn (Base Bid - ADD ALT 3 TO PL-SD)	1/L5.7	329200
PL-M	[Symbol]	Mulch		329300
PL-TR	[Symbol]	Tree	3/L5.7	329300
—	[Symbol]	Existing Tree to Remain		
—	[Symbol]	Existing Major Contour		
—	[Symbol]	Existing Minor Contour		
—	[Symbol]	Electrical Conduit		
—	[Symbol]	Existing Utility Lines		

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES					
4	GT	<i>Gleditsia triacanthos inermis</i>	Honey Locust	5" CAL.	B & B
1	AR	<i>Acer rubrum</i>	Red maple	5" CAL.	B & B
1	QS	<i>Quercus palustris</i>	Pin Oak	4" CAL.	B & B Add Alt. 4

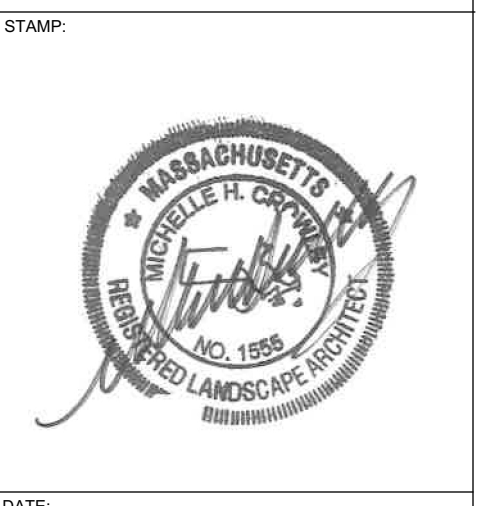
ADD ALT #	DESCRIPTION
3	Sod - substituted in all areas shown in base bid as hydroseeded lawn
4	(1) Quercus palustris- Pin Oak 4" CAL. B & B



PROJECT
**MARY JANE LEE PARK
 PHASE II**
 Palmer St
 Salem, MA 01970
 BID SET

BID SET NOT FOR CONSTRUCTION

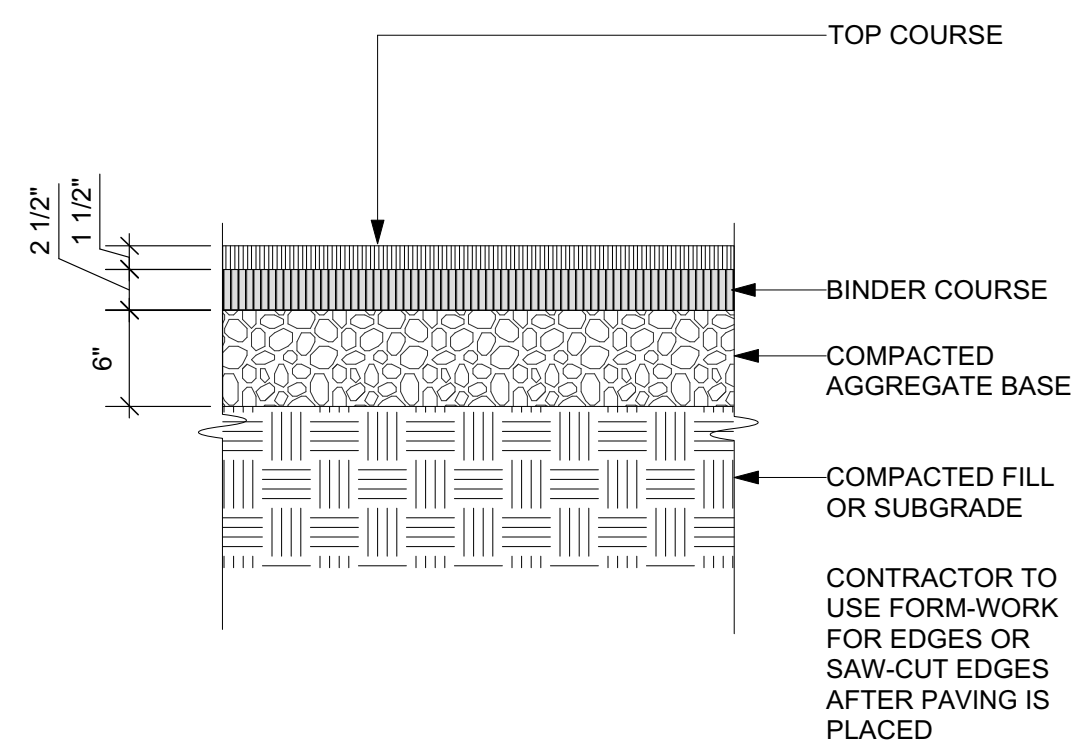
No. Date Revision
 CONSULTANTS:
 Jones Architecture
 10 Derby Sq
 Salem, MA
 (978) 744-5200
 www.jonesarch.com
 BLW Engineers, Inc.
 311 Great Rd,
 Littleton, MA
 (978) 486-4301
 www.blwengineers.com/
mcla
 Michelle Crowley Landscape
 Architecture, LLC
 281 Summer St, 6th Floor
 Boston, MA 02210
 617.338.8400
 www.michellecrowley-la.com



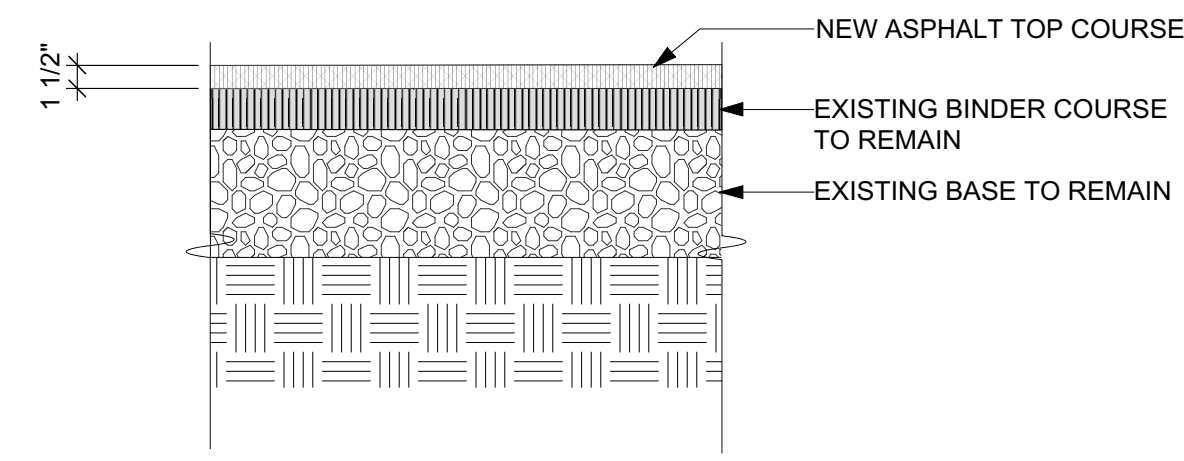
DATE:
 July 20, 2016
 PROJECT NUMBER:
 1405.1
 SCALE:
 1/16" = 1'-0"

DRAWING TITLE:
Planting Plan

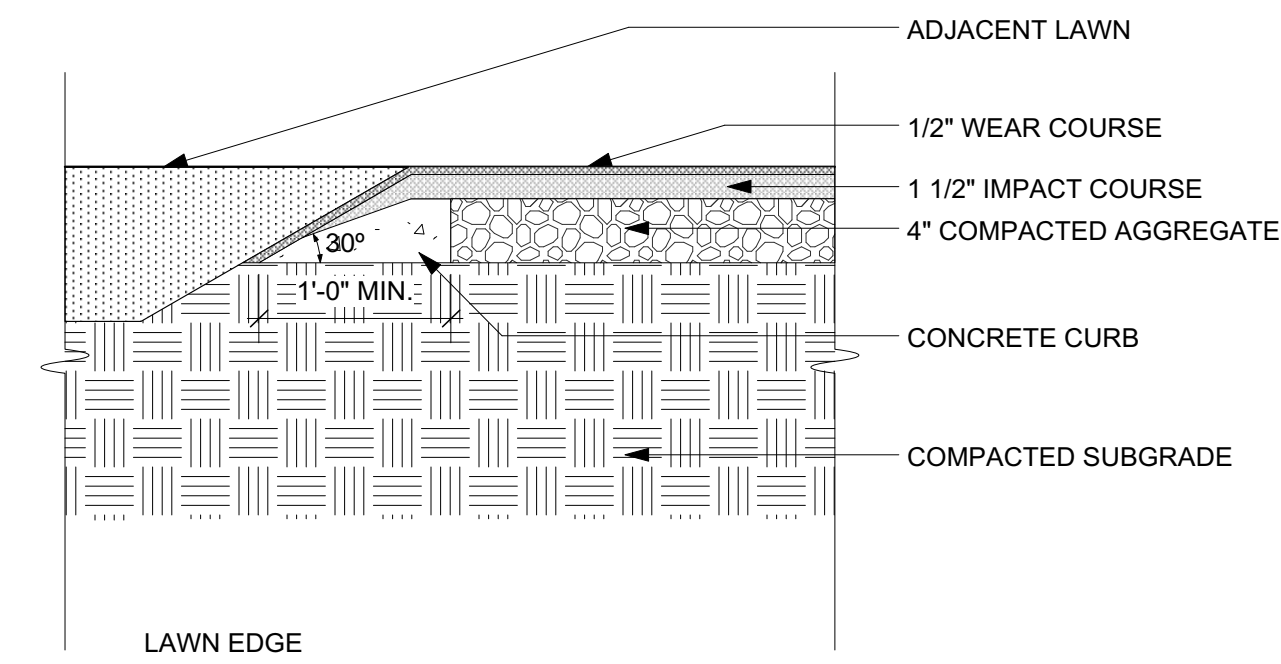
L4.0



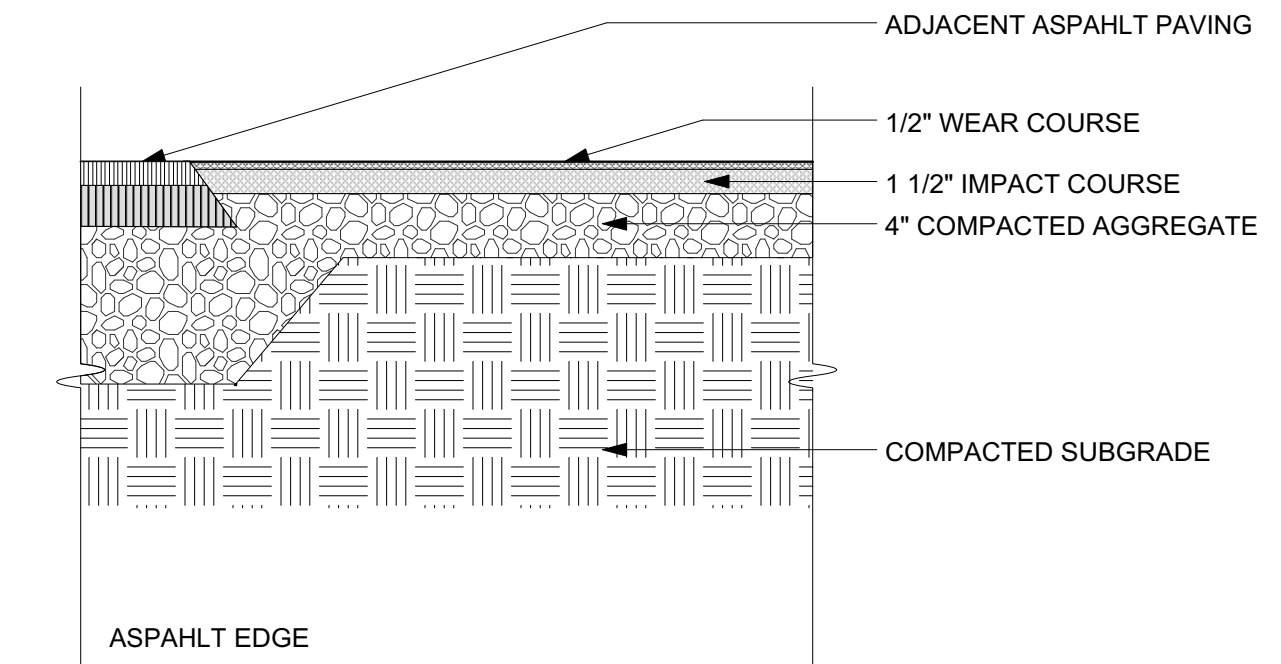
1 (P-AS1) ASPHALT PAVING - PEDESTRIAN
Scale: 1" = 1'-0"



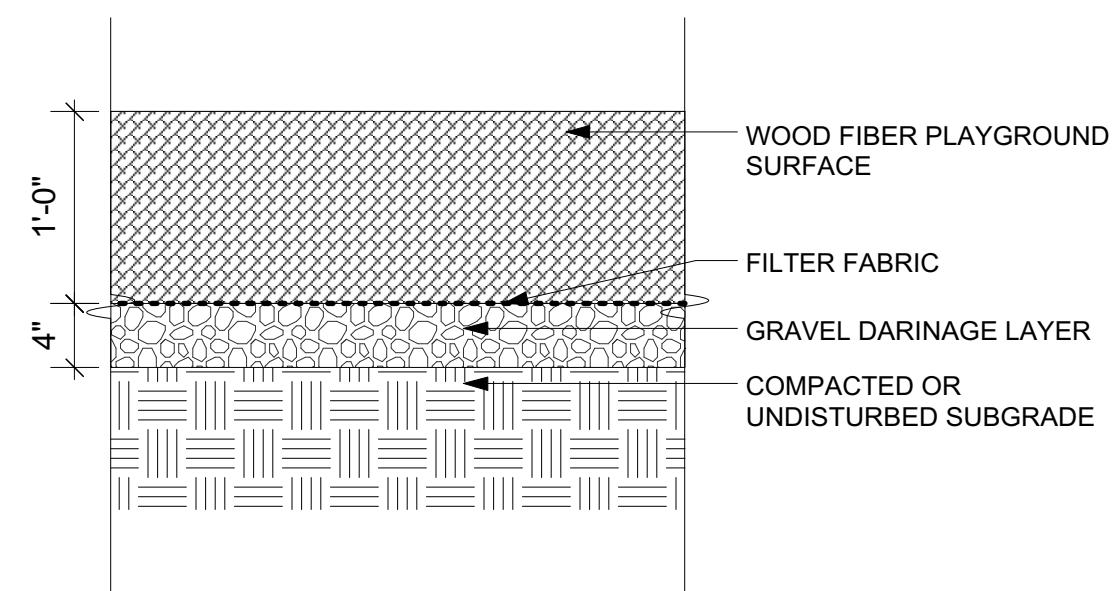
2 (P-AS2) ASPHALT PAVING, VEHICULAR
Scale: 1" = 1'-0"



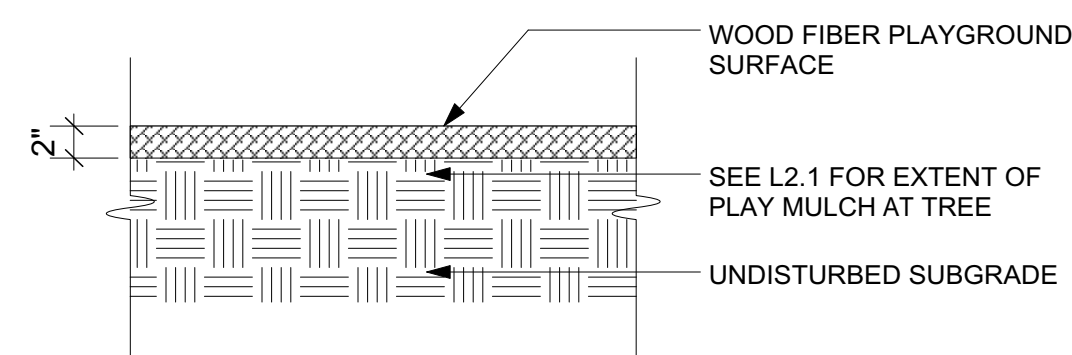
3 (P-SS1, P-SS2) RUBBERIZED CUSHIONED SAFETY SURFACE
Scale: 1" = 1'-0"



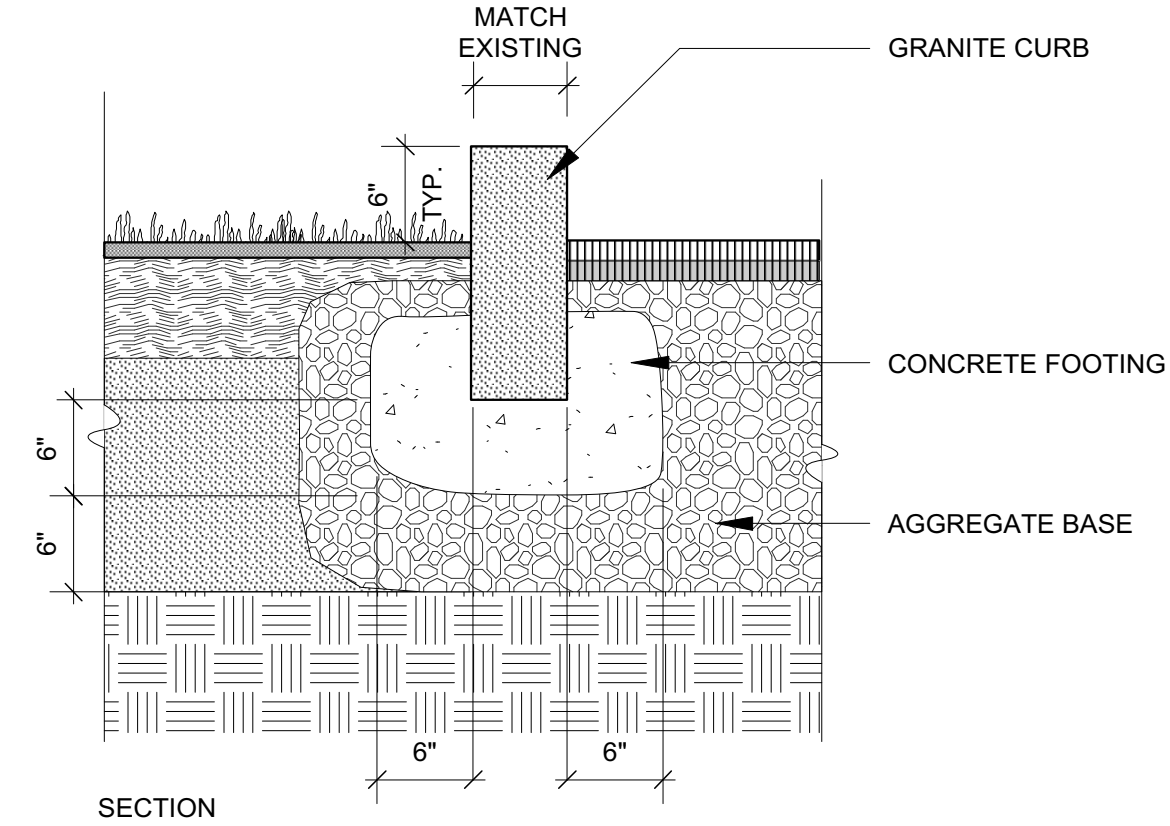
(P-SS1, P-SS2) RUBBERIZED CUSHIONED SAFETY SURFACE
Scale: 1" = 1'-0"



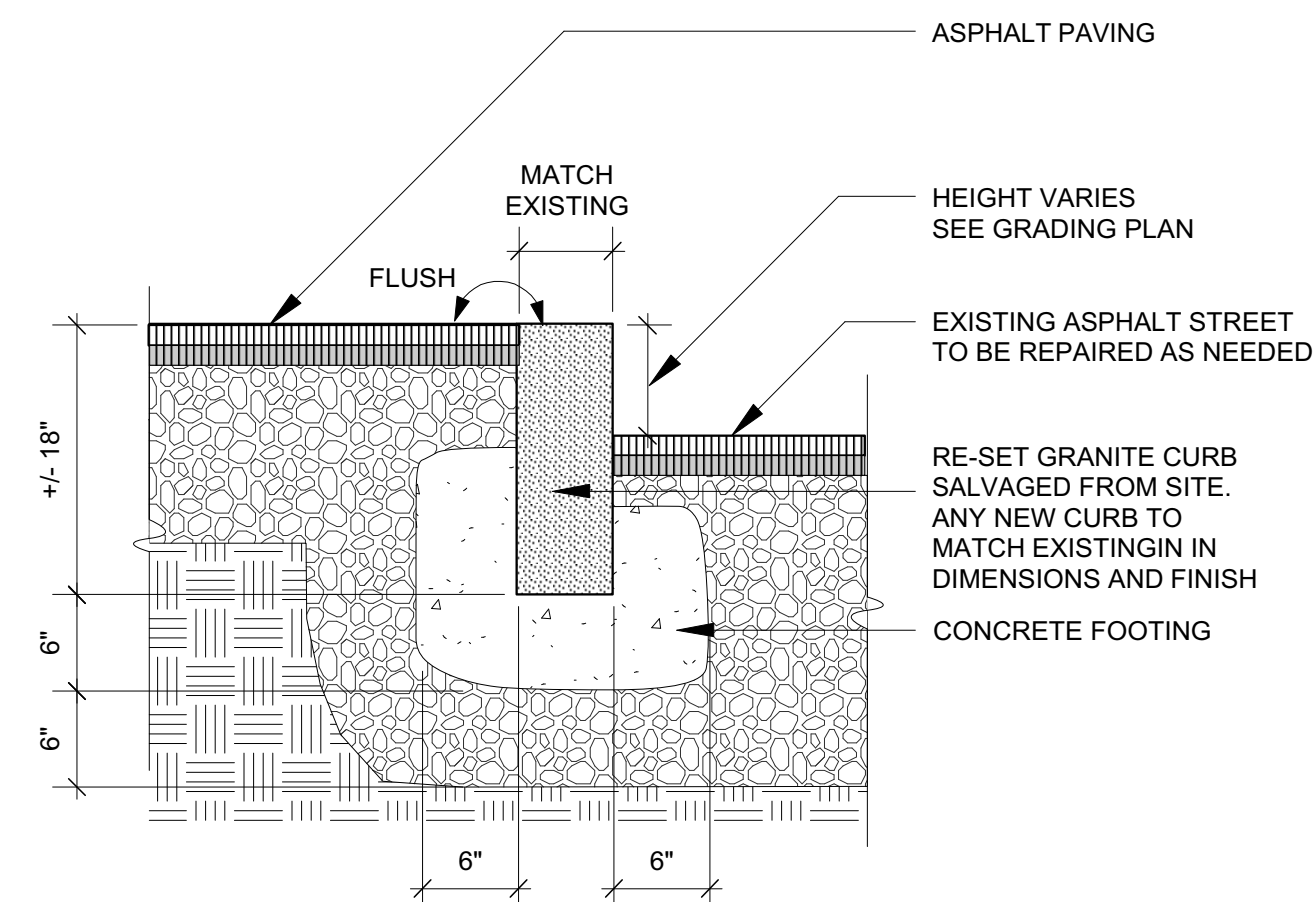
4 (P-PM1) WOOD FIBER PLAY SURFACING
Scale: 1" = 1'-0"



5 (P-PM2) WOOD FIBER AT TREE
Scale: 1" = 1'-0"



6 (P-CR) GRANITE CURB-RAISED
Scale: 1" = 1'-0"



7 (P-GC) GRANITE CURB
Scale: 1" = 1'-0"



PROJECT
MARY JANE LEE PARK
PHASE II
Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

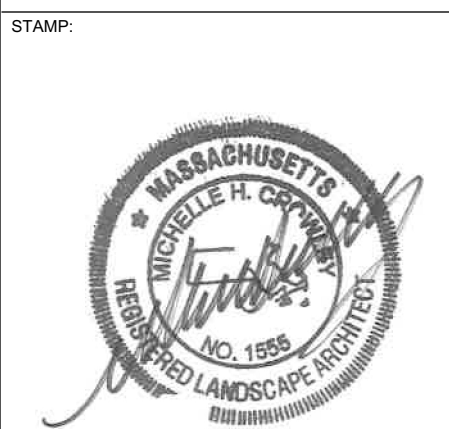
No. Date Revision
CONSULTANTS:
Jones Architecture
10 Derby Sq
Salem, MA

(978) 744-5200
www.jonesarch.com

BLW Engineers, Inc.
311 Great Rd,
Littleton, MA

(978) 486-4301
www.blwengineers.com/

mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St. 6th Floor
Boston, MA 02210
617.338.8400
www.michellecrowley-la.com

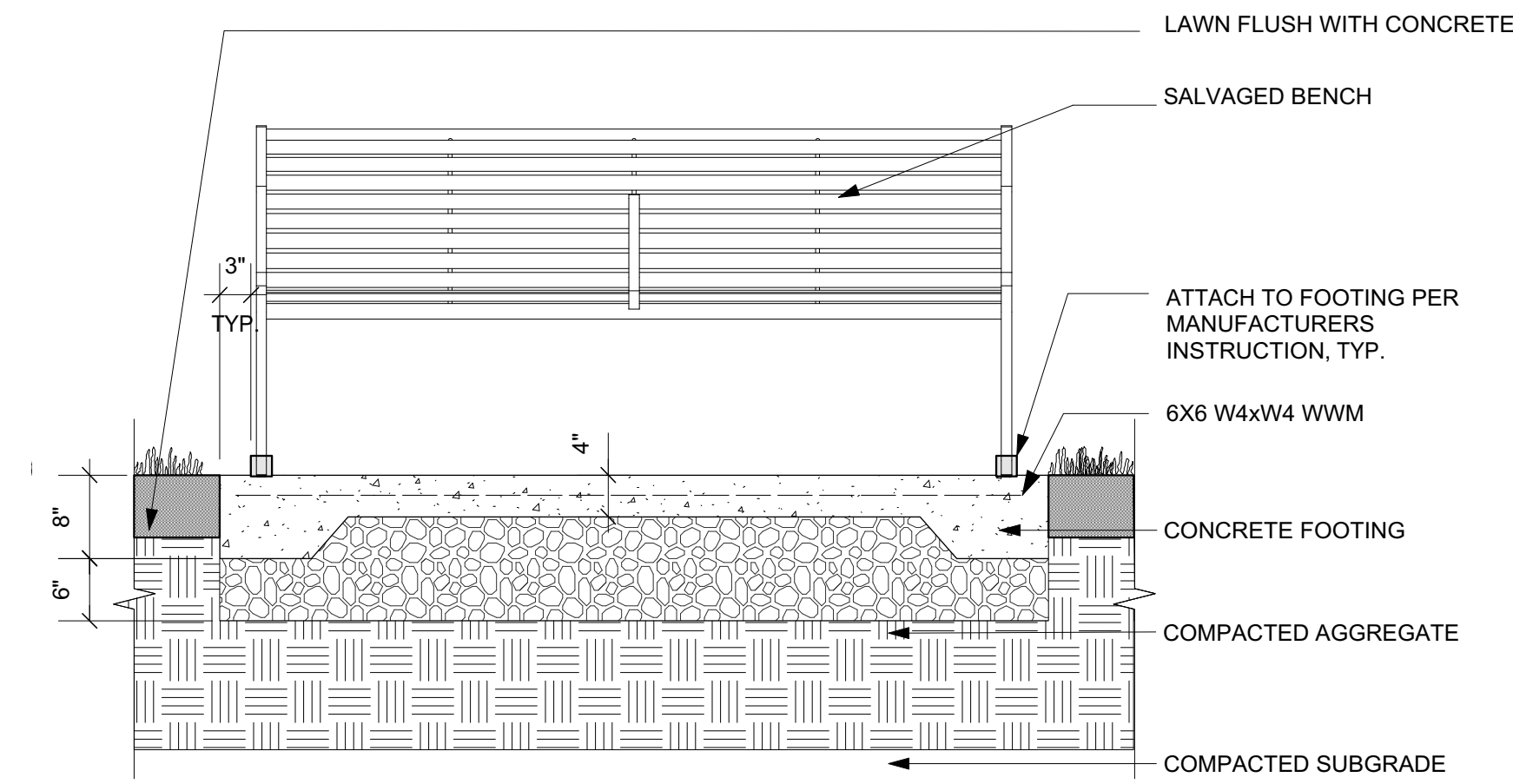


DATE:
July 20, 2016

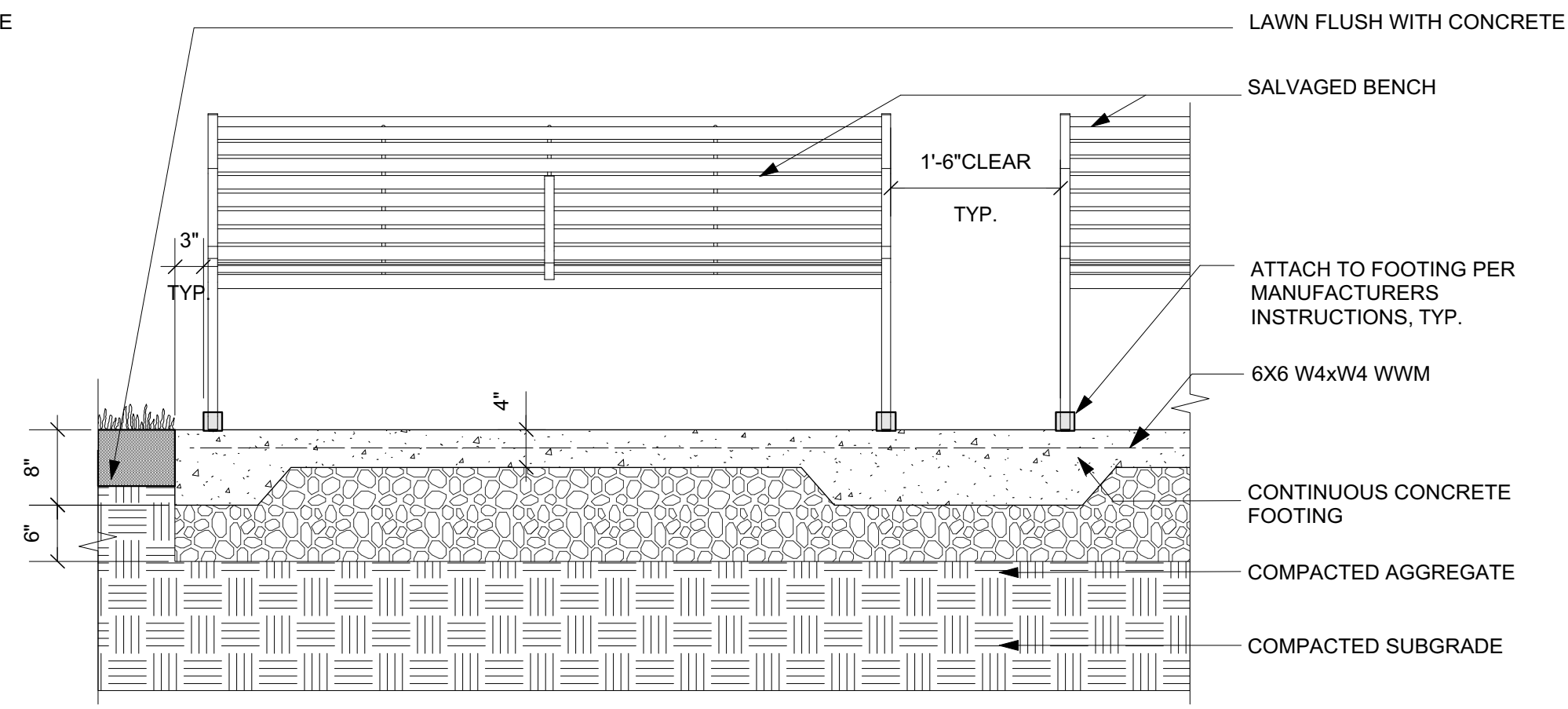
PROJECT NUMBER: 1405.1 SCALE: As Noted

DRAWING TITLE:
Paving
Details

L5.0

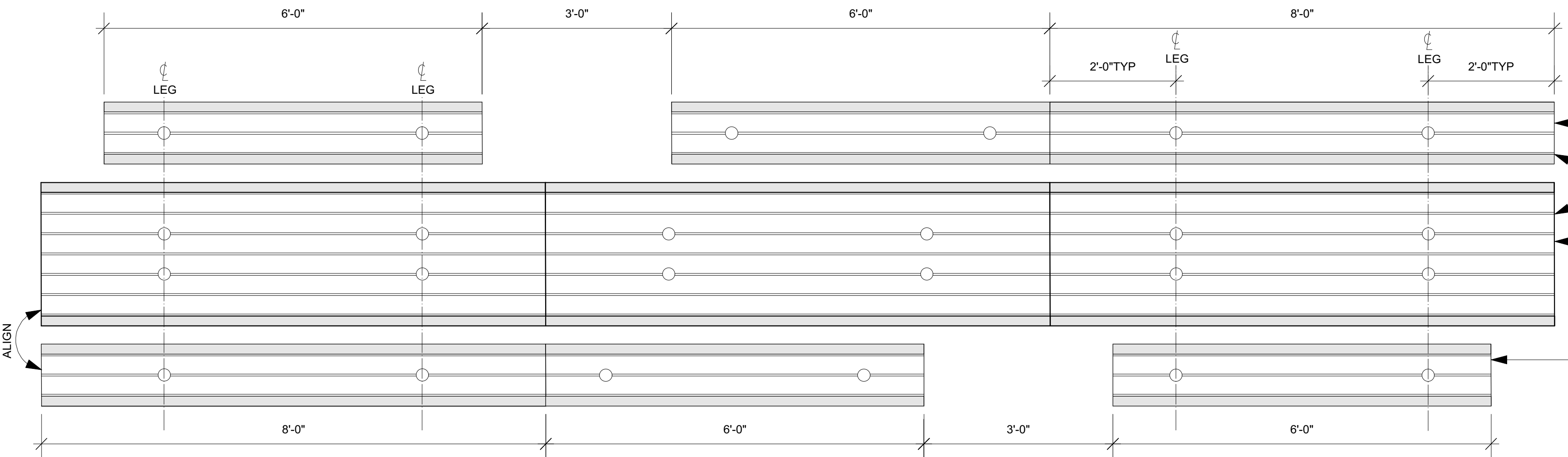


SINGLE



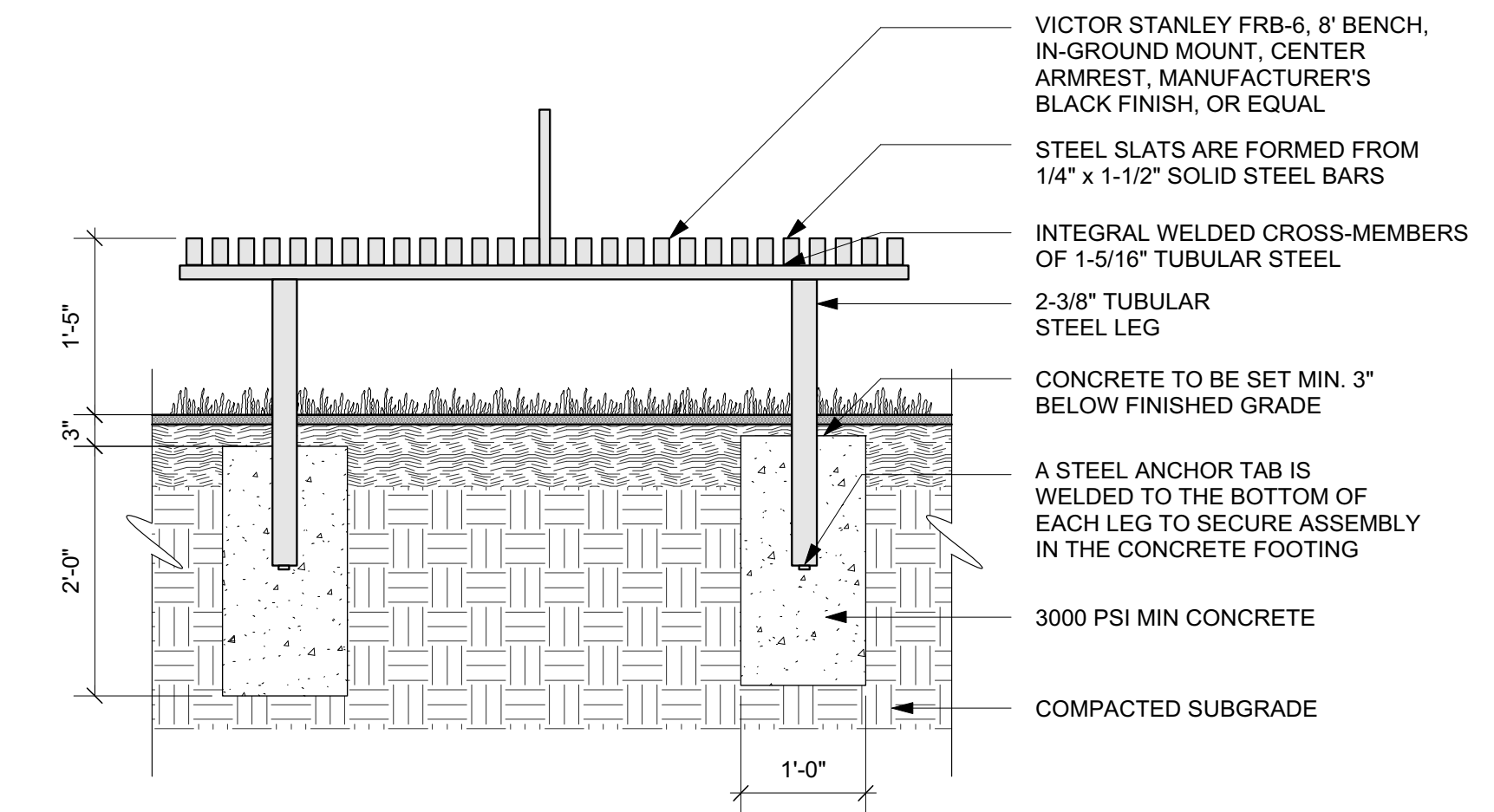
PAIR

1 (F-B1) RELOCATED BENCH WITH BACK
Scale: 3/4" = 1'-0"

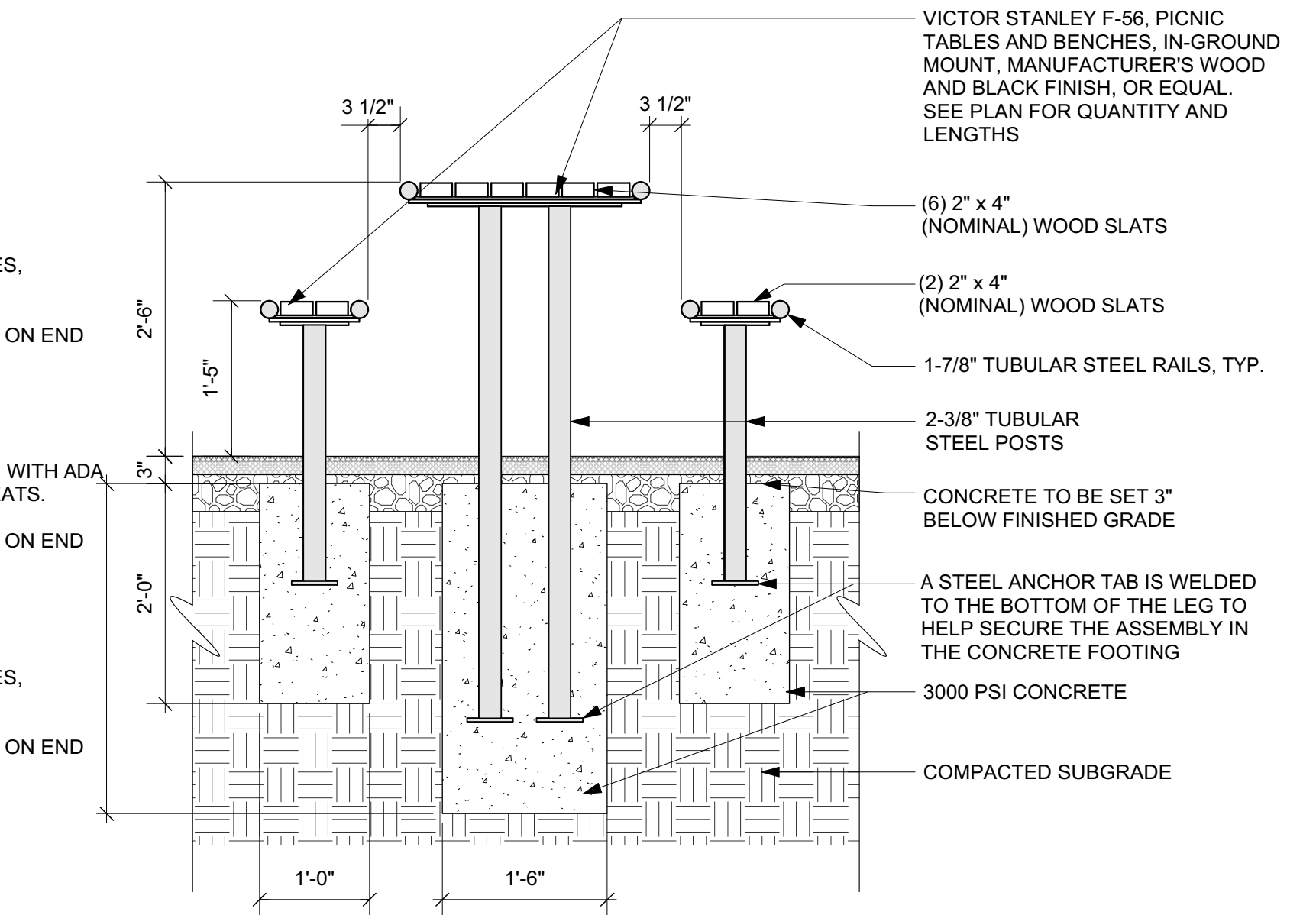


PLAN

3 (F-B3) PICNIC TABLE AND BENCHES
Scale: 3/4" = 1'-0"



2 (F-B2) BACKLESS BENCH
Scale: 3/4" = 1'-0"



SECTION



PROJECT
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision
CONSULTANTS:
Jones Architecture
10 Derby Sq
Salem, MA

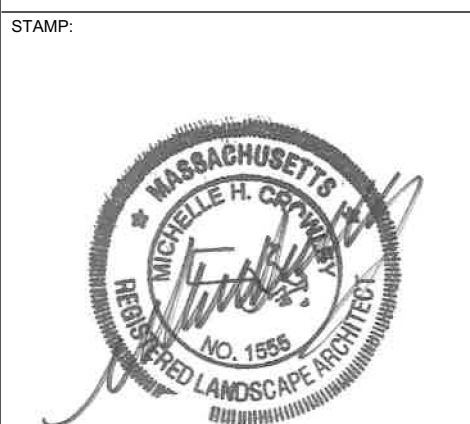
(978) 744-5200
www.jonesarch.com

BLW Engineers, Inc.
311 Great Rd.
Littleton, MA

(978) 486-4301
www.blwengineers.com/

mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St. 6th Floor
Boston, MA 02210

617.338.8400
www.michellecrowley-la.com



DATE:
July 20, 2016

PROJECT NUMBER: 1405.1 SCALE: As Noted

DRAWING TITLE:
Furnishing
Details - Benches

L5.1

Description

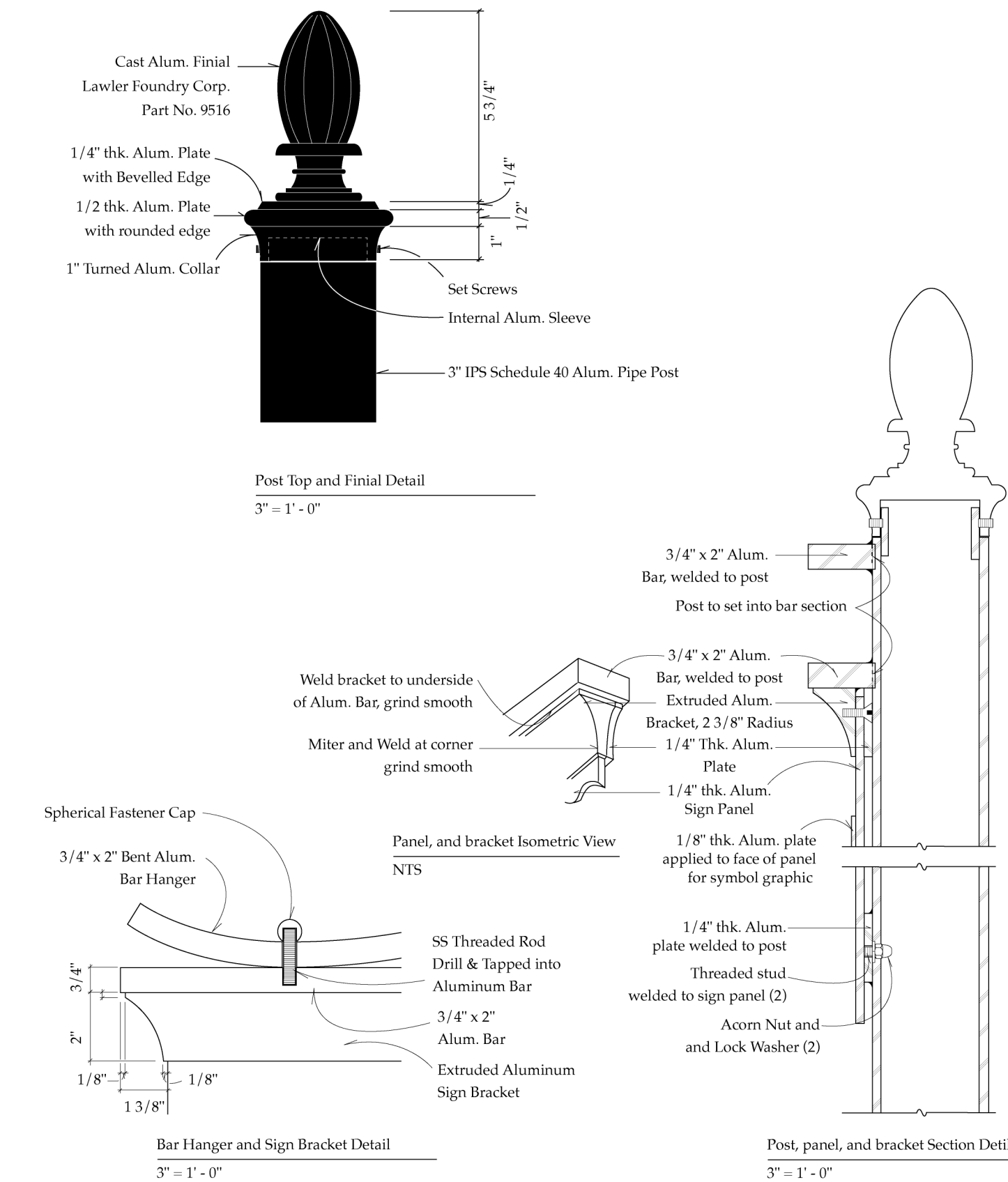
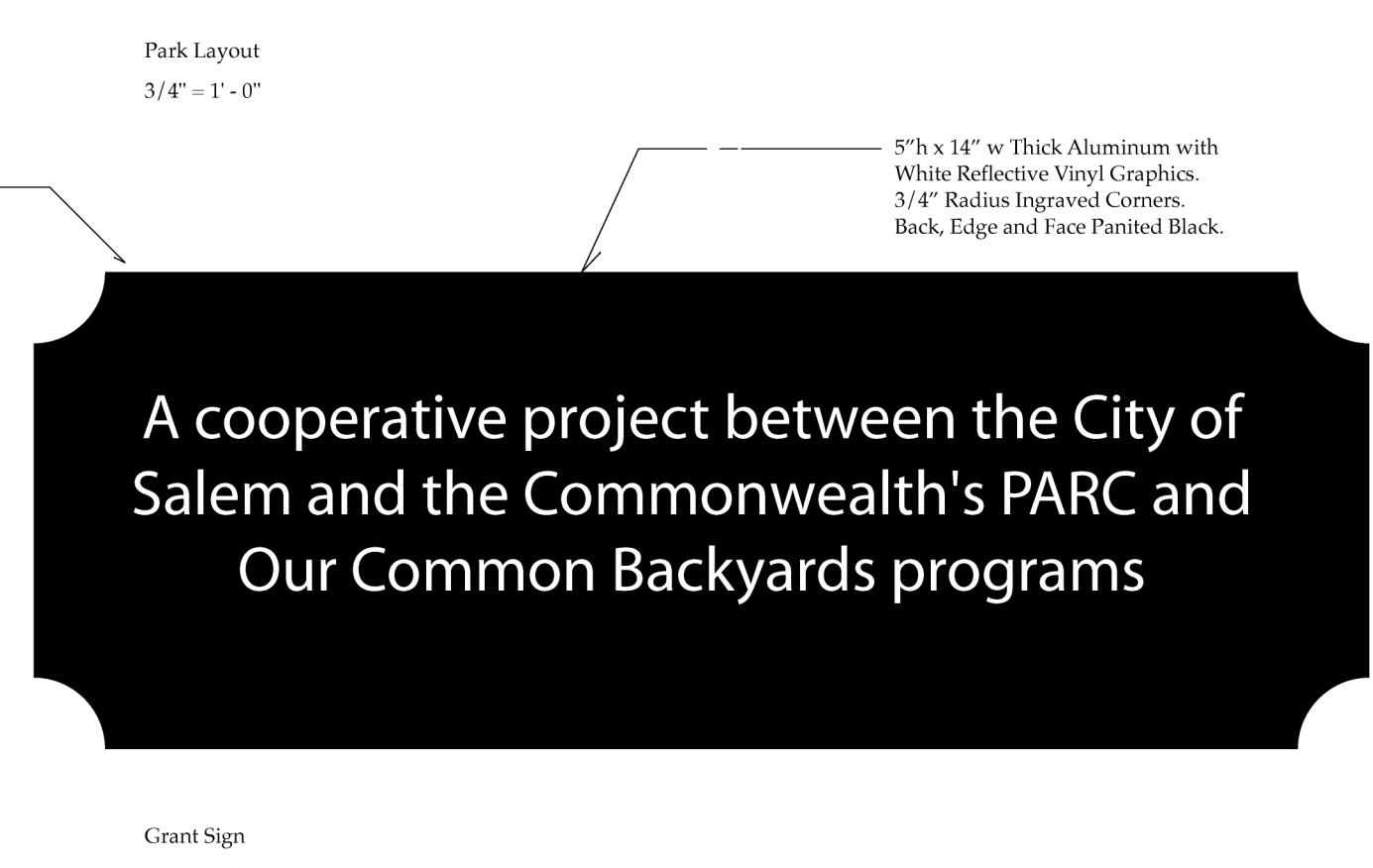
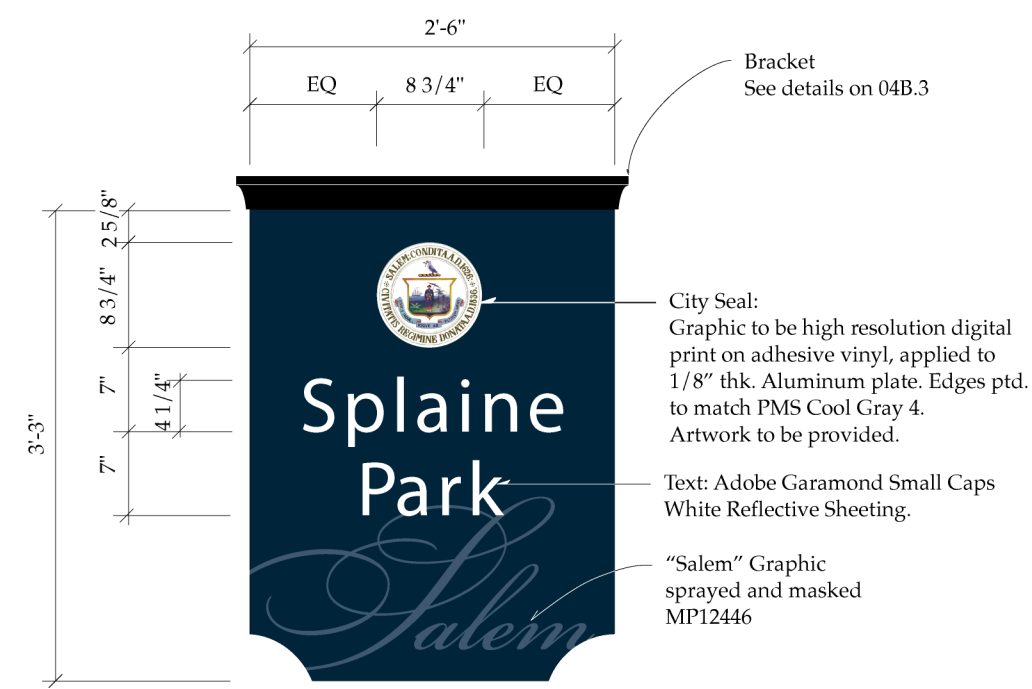
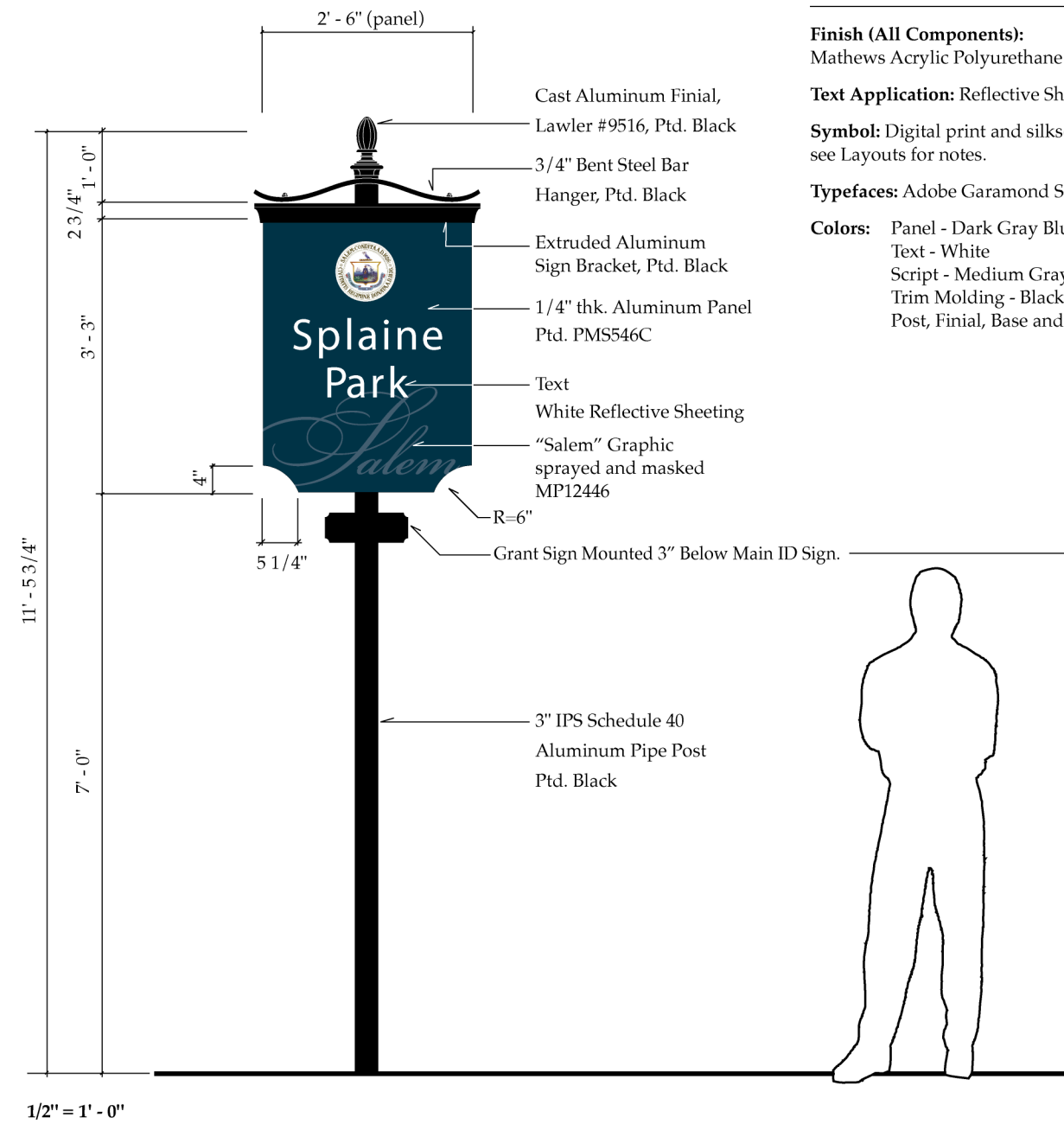
Single sided aluminum sign panel with aluminum bar hanger, extruded aluminum sign bracket and cast aluminum finial.

Materials

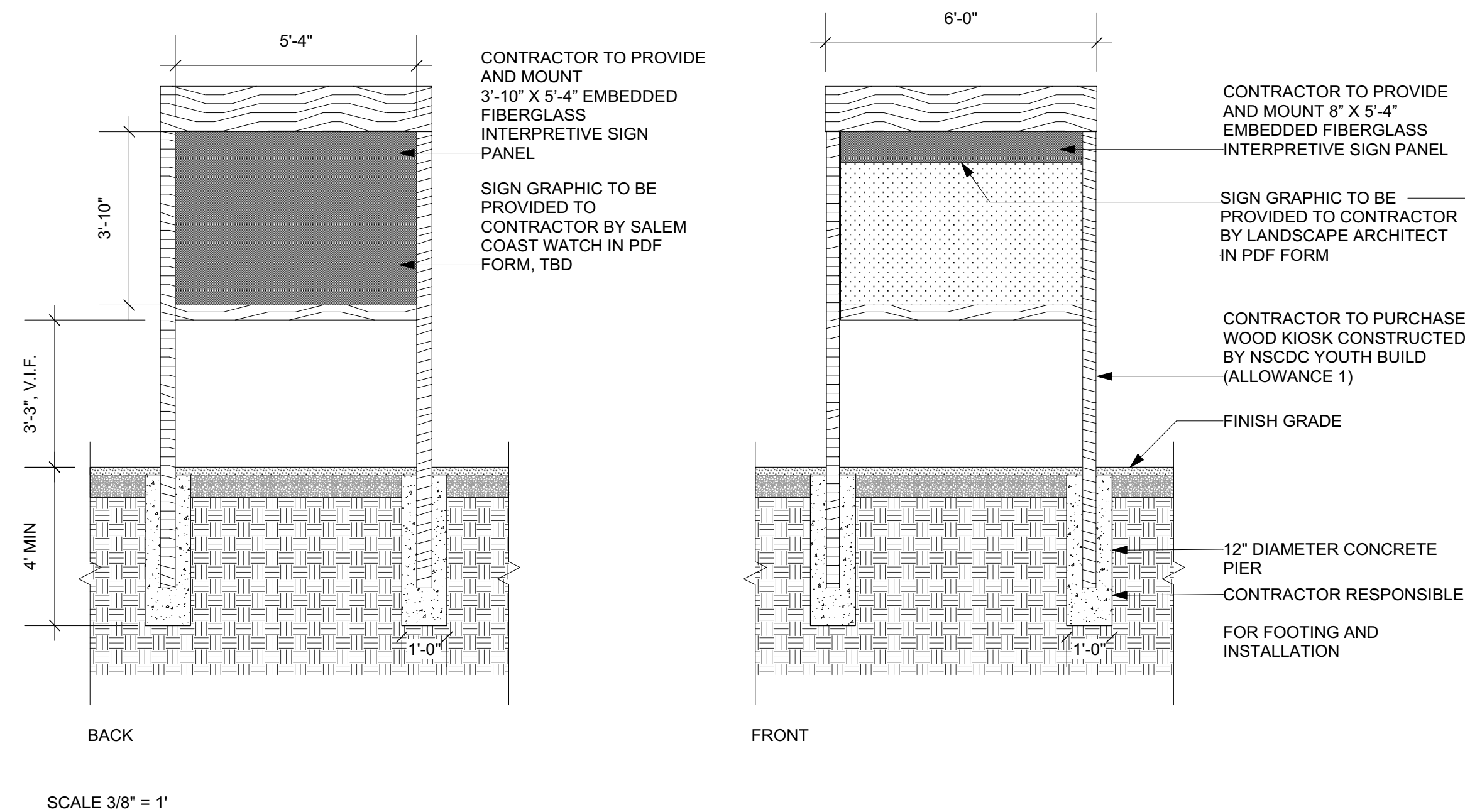
Panel: 2'-6" W x 3'-3 1/4" H x 1/4" thk. aluminum plate
Post: 3" Schedule 40 pipe with cast alum. Finial.
Hanging Bracket: 2"W x 3/4" Thk. Alum. bar and Stainless Steel fasteners, with extruded aluminum bracket.
Footings: As required.

Graphics & Finish

Finish (All Components): Mathews Acrylic Polyurethane
Text Application: Reflective Sheeting.
Symbol: Digital print and silkscreened on alum. panel, see Layouts for notes.
Typefaces: Adobe Garamond Semibold.
Colors: Panel - Dark Gray Blue to match PMS546C
 Text - White
 Script - Medium Gray Blue to match MP12446
 Trim Molding - Black
 Post, Finial, Base and Bracket - Black



1 (F-S1) PARK SIGN AS NOTED



2 (F-S2) COMMUNITY KIOSK AND INTERPRETIVE SIGN PANELS AS NOTED



PROJECT: MARY JANE LEE PARK PHASE II

Palmer St Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision
 CONSULTANTS:
 Jones Architecture
 10 Derby Sq
 Salem, MA

(978) 744-5200
 www.jonesarch.com

BLW Engineers, Inc.
 311 Great Rd,
 Littleton, MA

(978) 486-4301
 www.blwengineers.com/

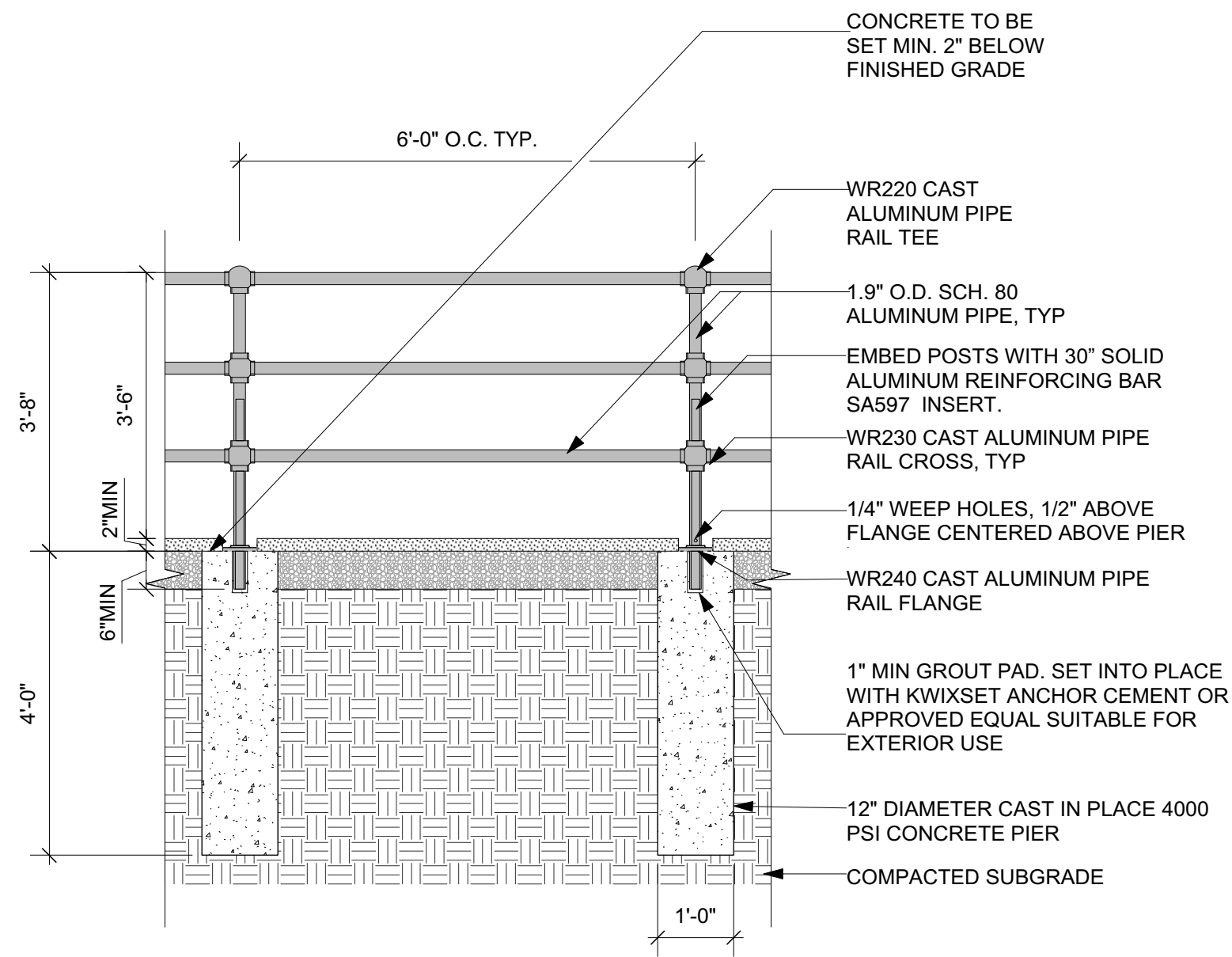
mcla
 Michelle Crowley Landscape
 Architecture, LLC
 281 Summer St, 6th Floor
 Boston, MA 02210
 617.338.8400
 www.michellecrowley-la.com



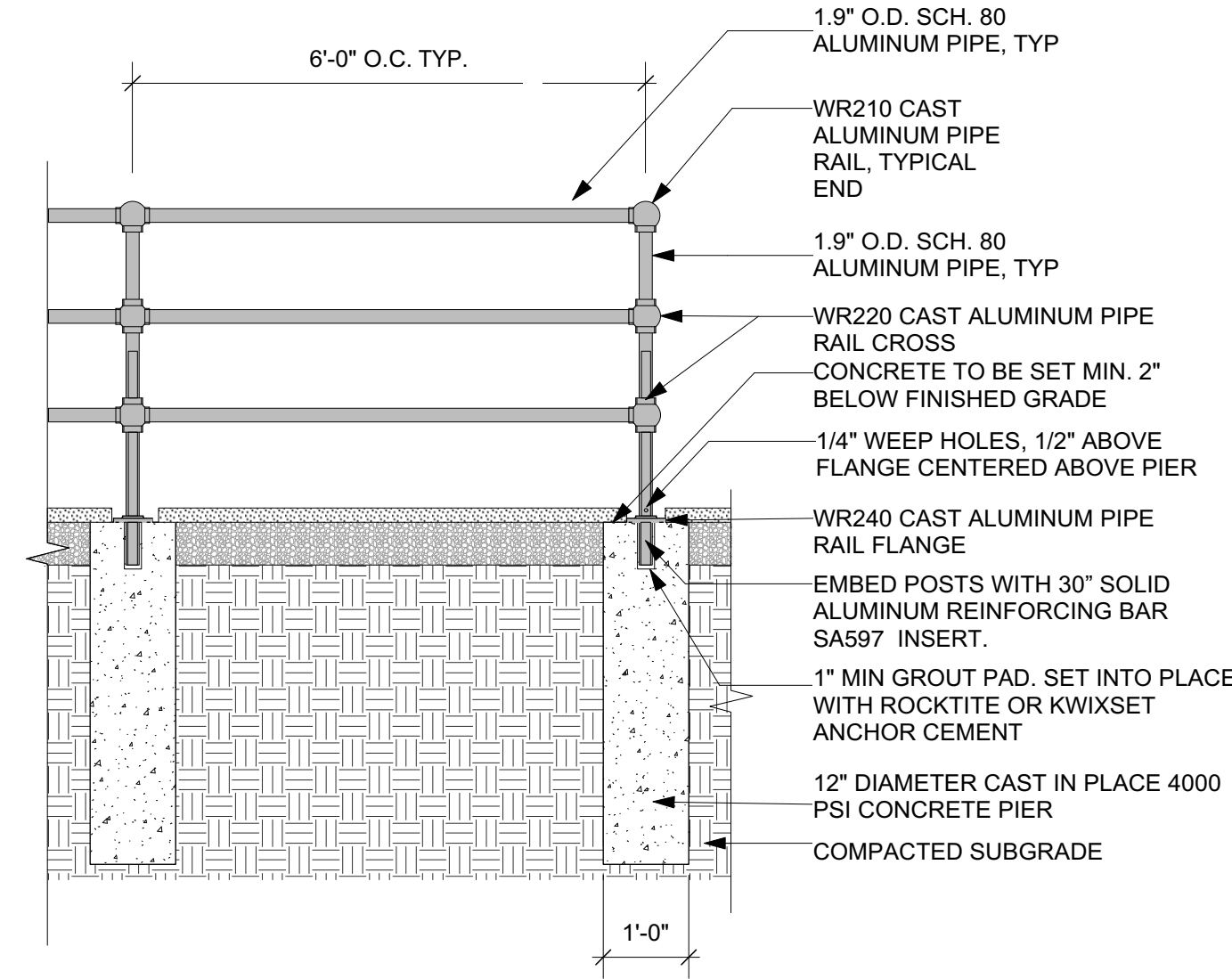
DATE:
 July 20, 2016
 PROJECT NUMBER: 1405.1 SCALE: As Noted

DRAWING TITLE:
 Furnishing
 Details - Signs

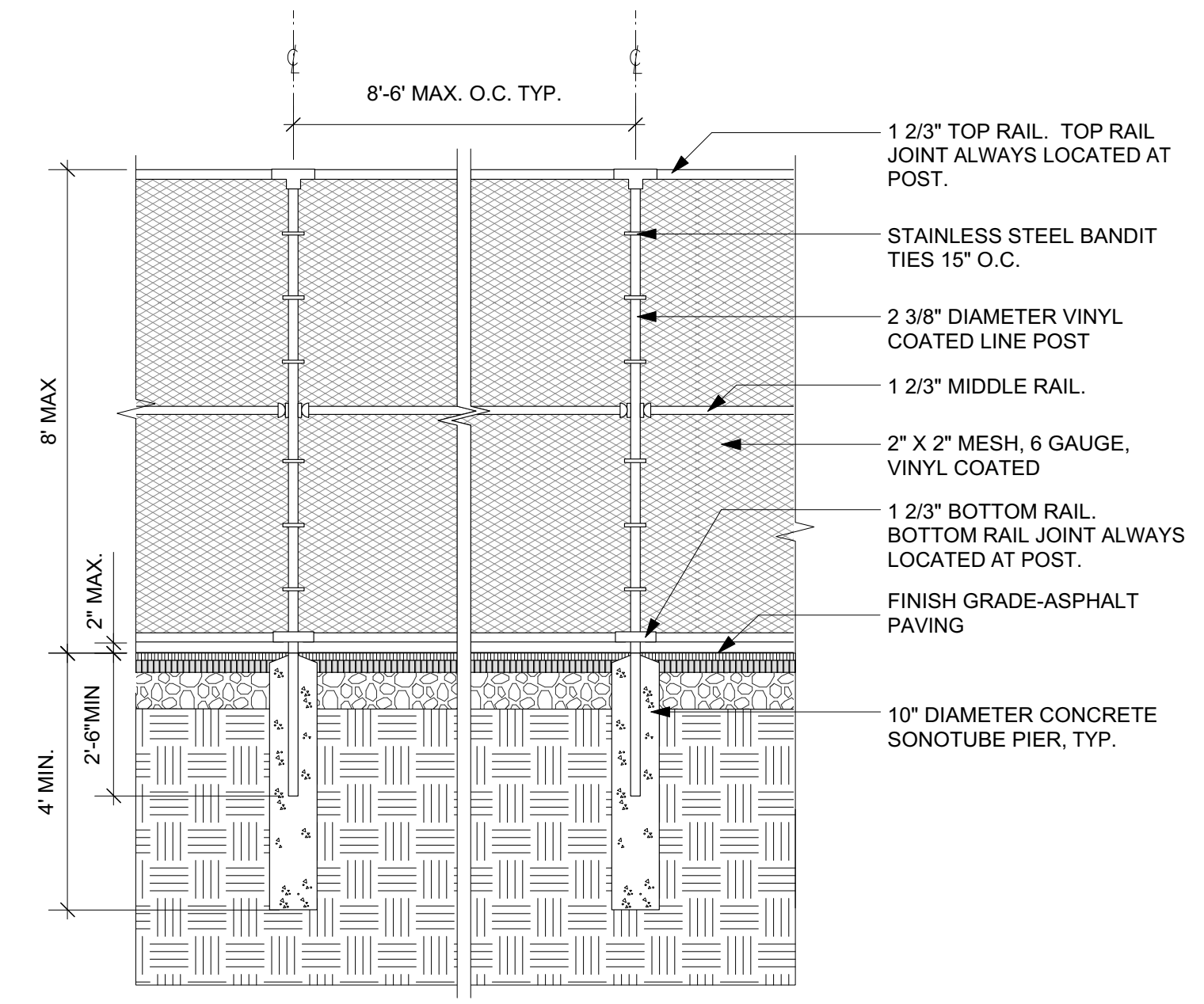
L5.2



TYPICAL SECTION

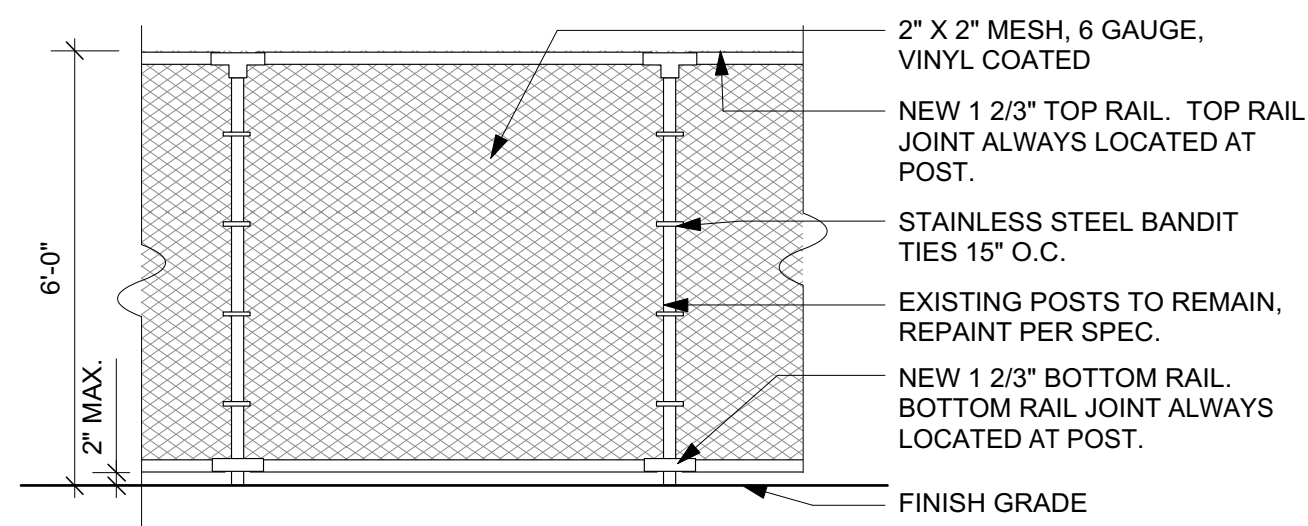


END POST

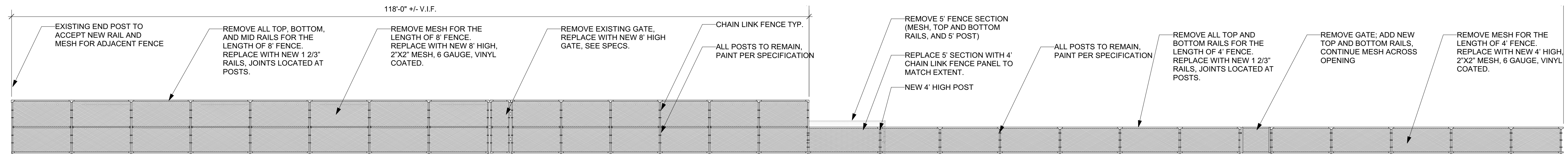


(F-F2) 8' NEW CHAIN LINK FENCE
Scale: 3/8" = 1'-0"

(F-F1) PIPE RAIL FENCE
Scale: 1/2" = 1'-0"



(F-F3) CHAIN LINK FENCE RENOVATION- NORTH
Scale: 3/8" = 1'-0"



(F-F4) CHAIN LINK FENCE RENOVATION- EAST
Scale: 1/8" = 1'-0"



PROJECT:
MARY JANE LEE PARK
PHASE II
Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision
CONSULTANTS:
Jones Architecture
10 Derby Sq
Salem, MA
(978) 744-5200
www.jonesarch.com

BLW Engineers, Inc.
311 Great Rd,
Littleton, MA
(978) 486-4301
www.blwengineers.com/

mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St, 6th Floor
Boston, MA 02210

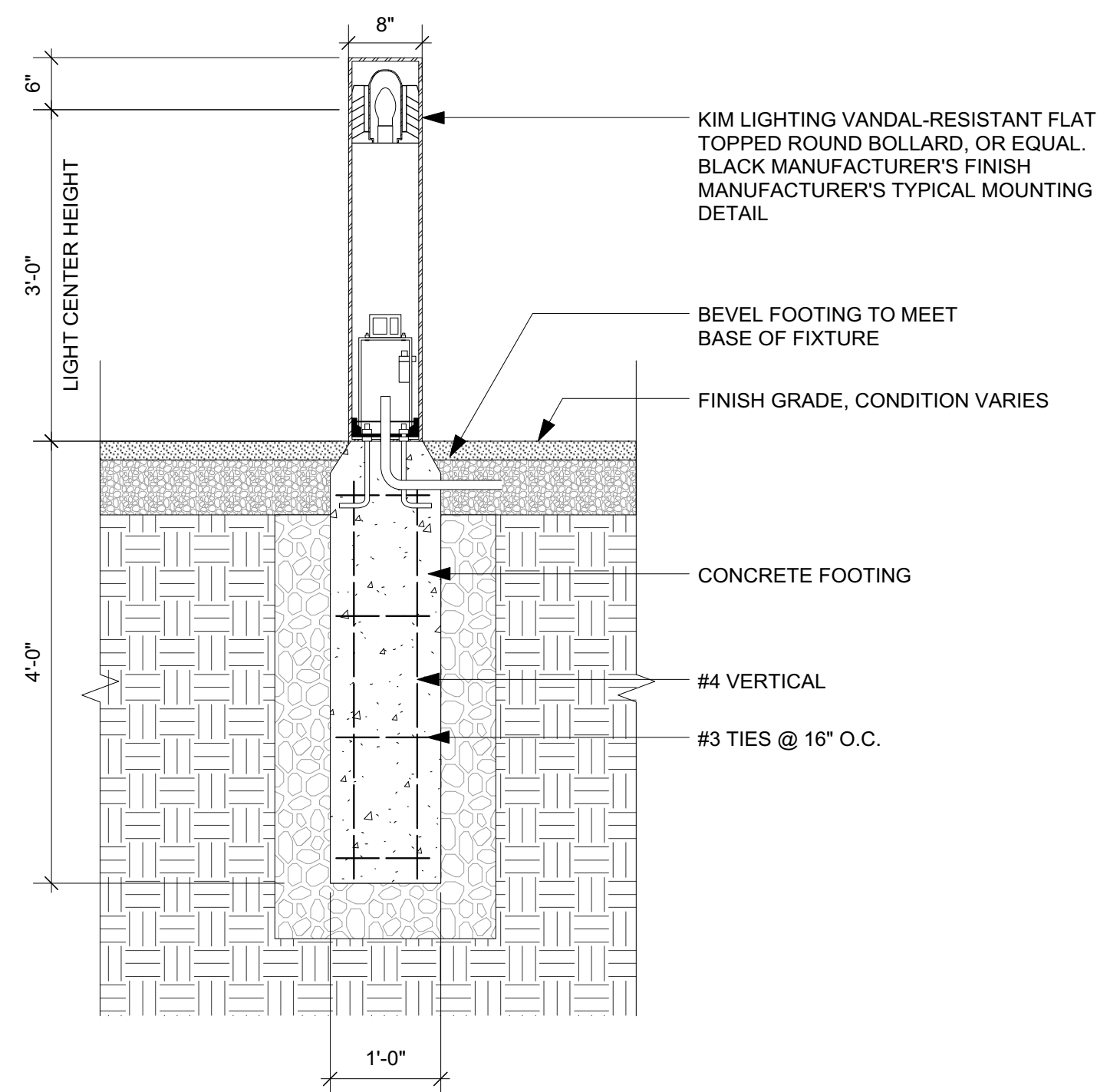
617.338.8400
www.michellecrowley-la.com



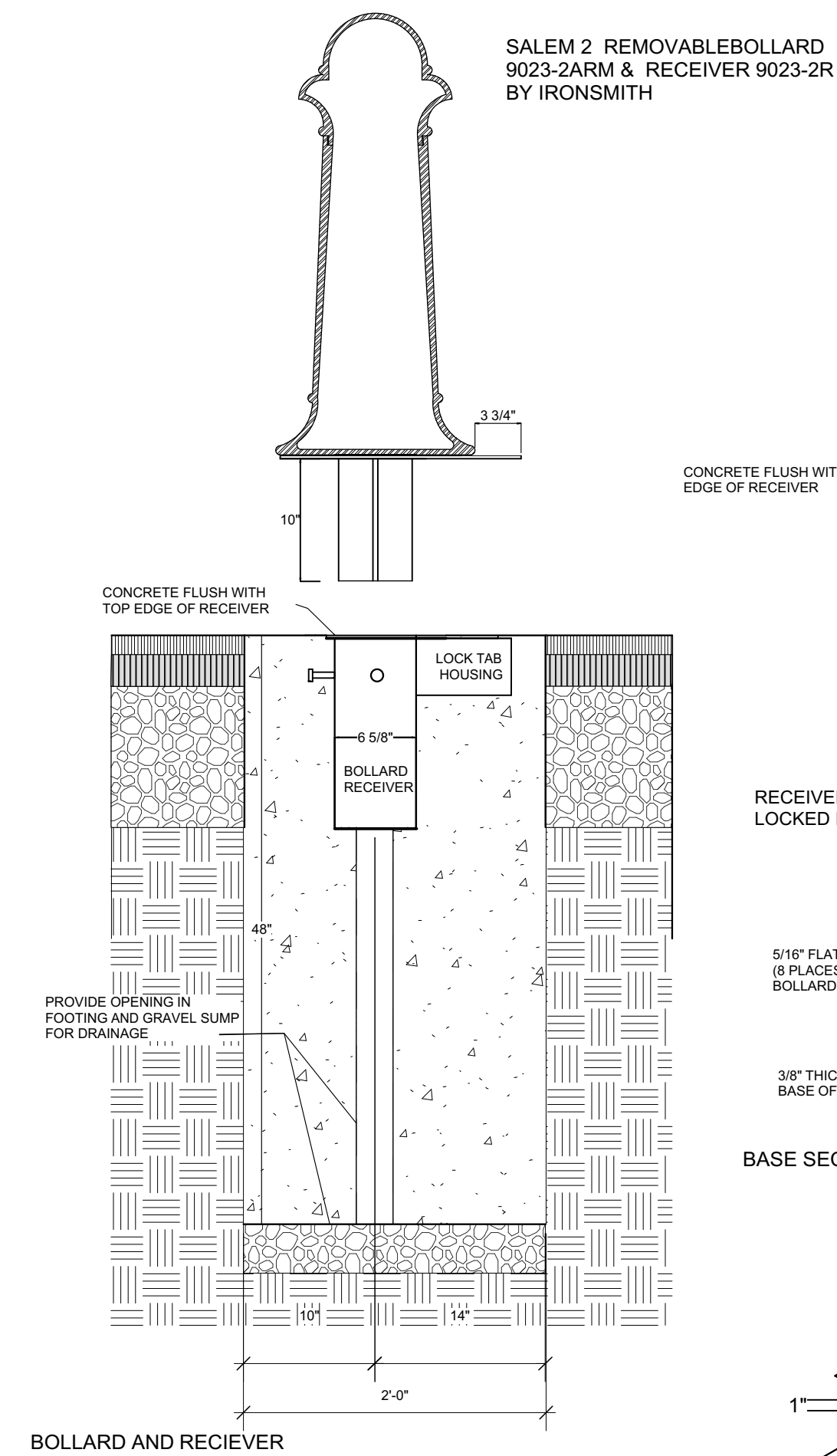
DATE:
July 20, 2016
PROJECT NUMBER:
1405.1
SCALE:
As Noted

DRAWING TITLE:
Furnishing
Details- Fences

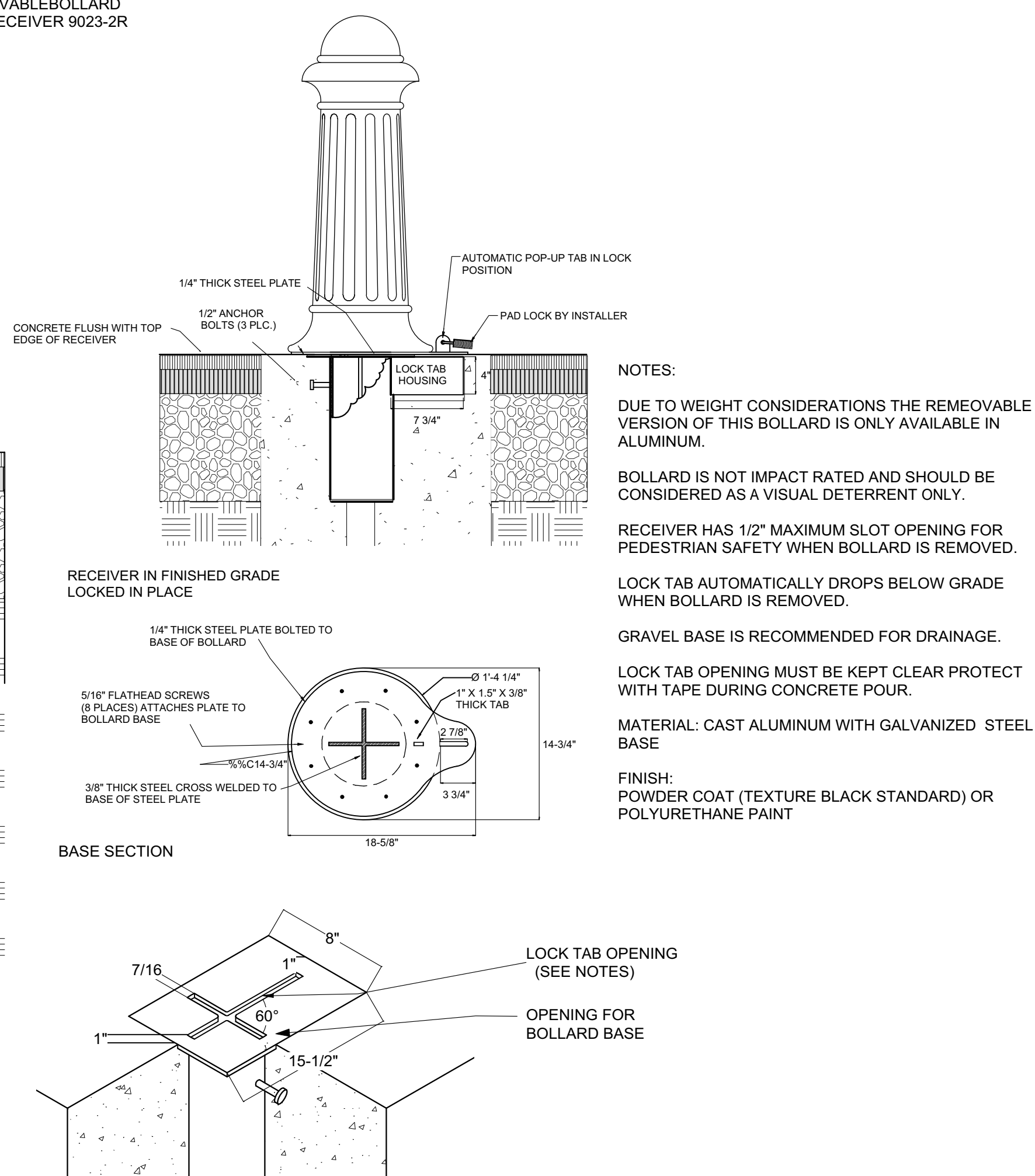
L5.3



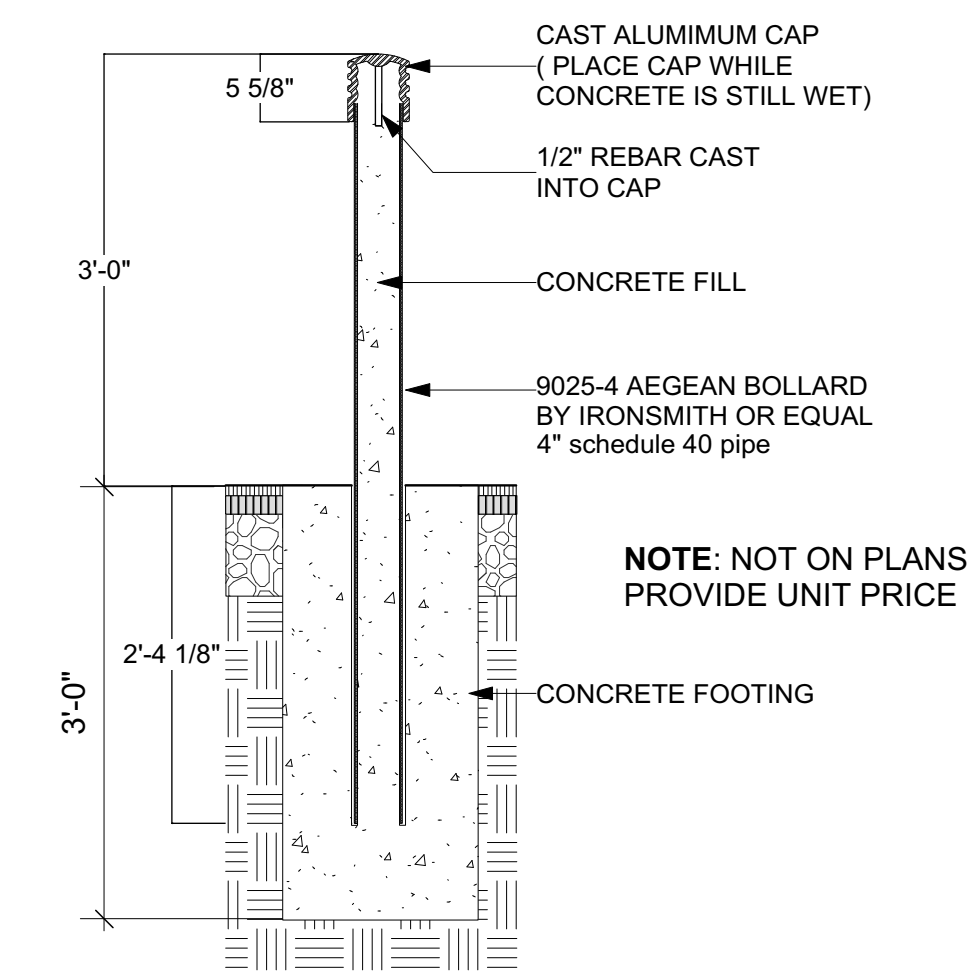
1 (F-BL1) BOLLARD LIGHT
Scale: 3/4" = 1'-0"



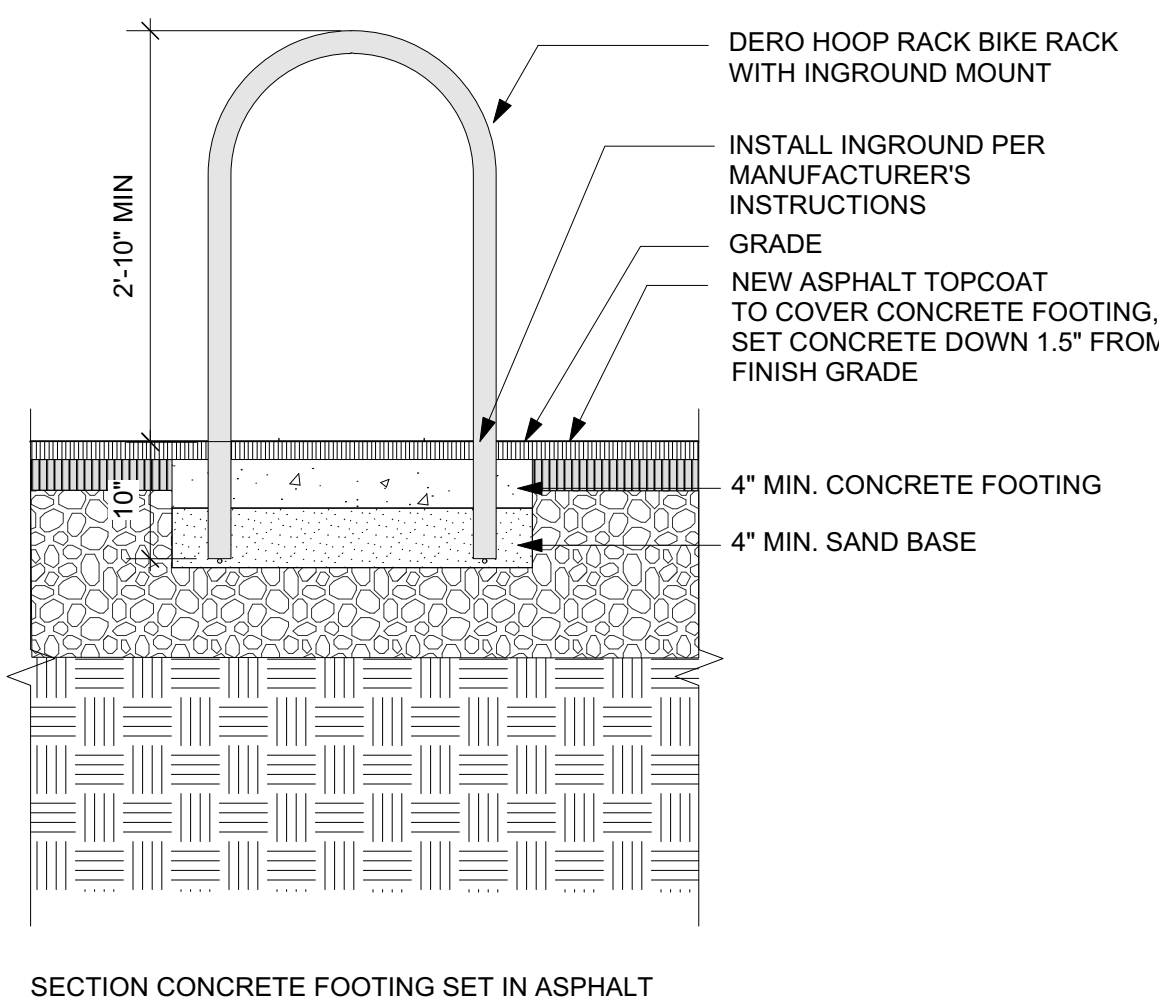
2 (F-BL2) REMOVABLE BOLLARD
NTS



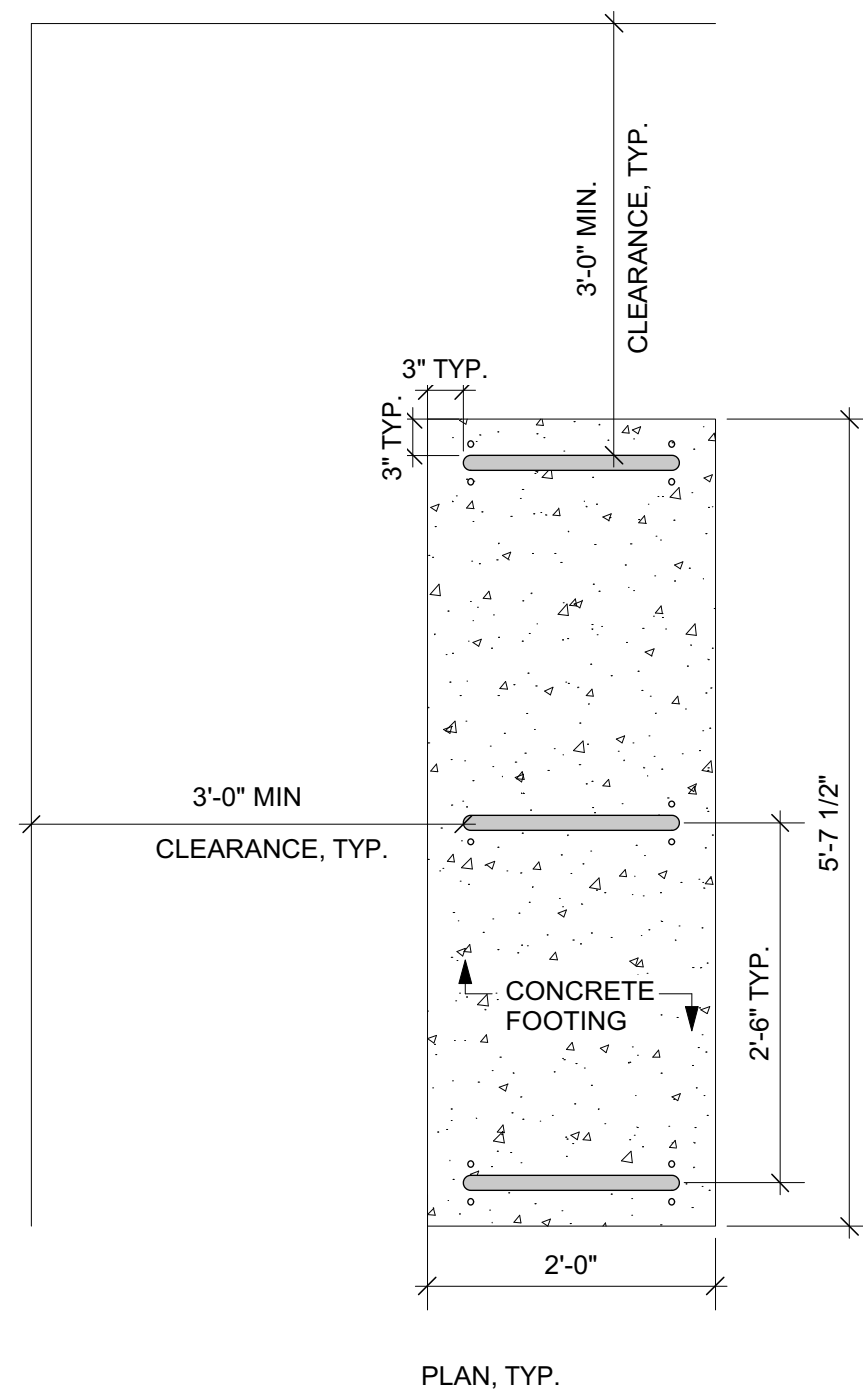
3 (F-BL3) REMOVABLE BOLLARD 2
Scale: 3/4" = 1'-0"



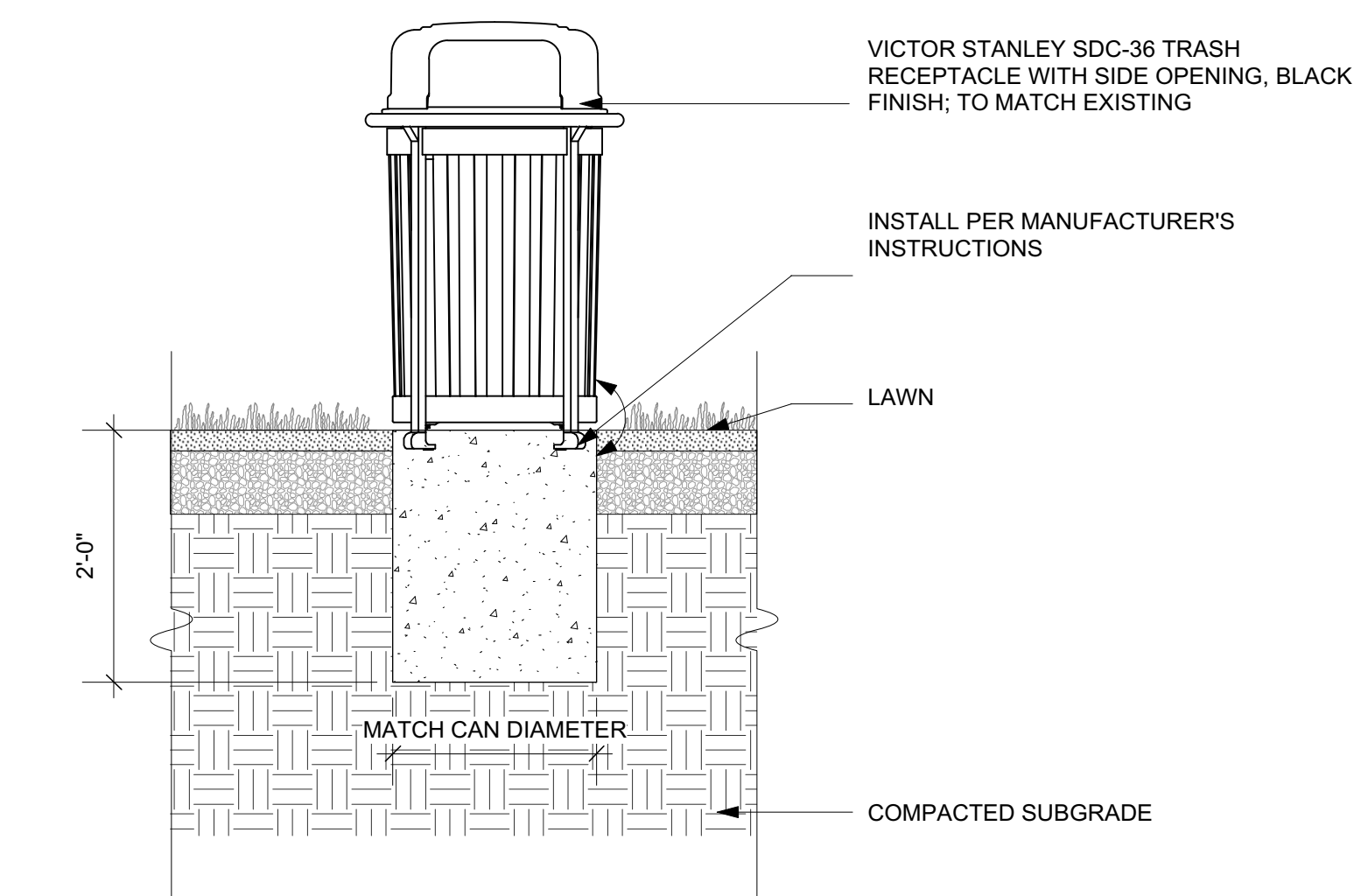
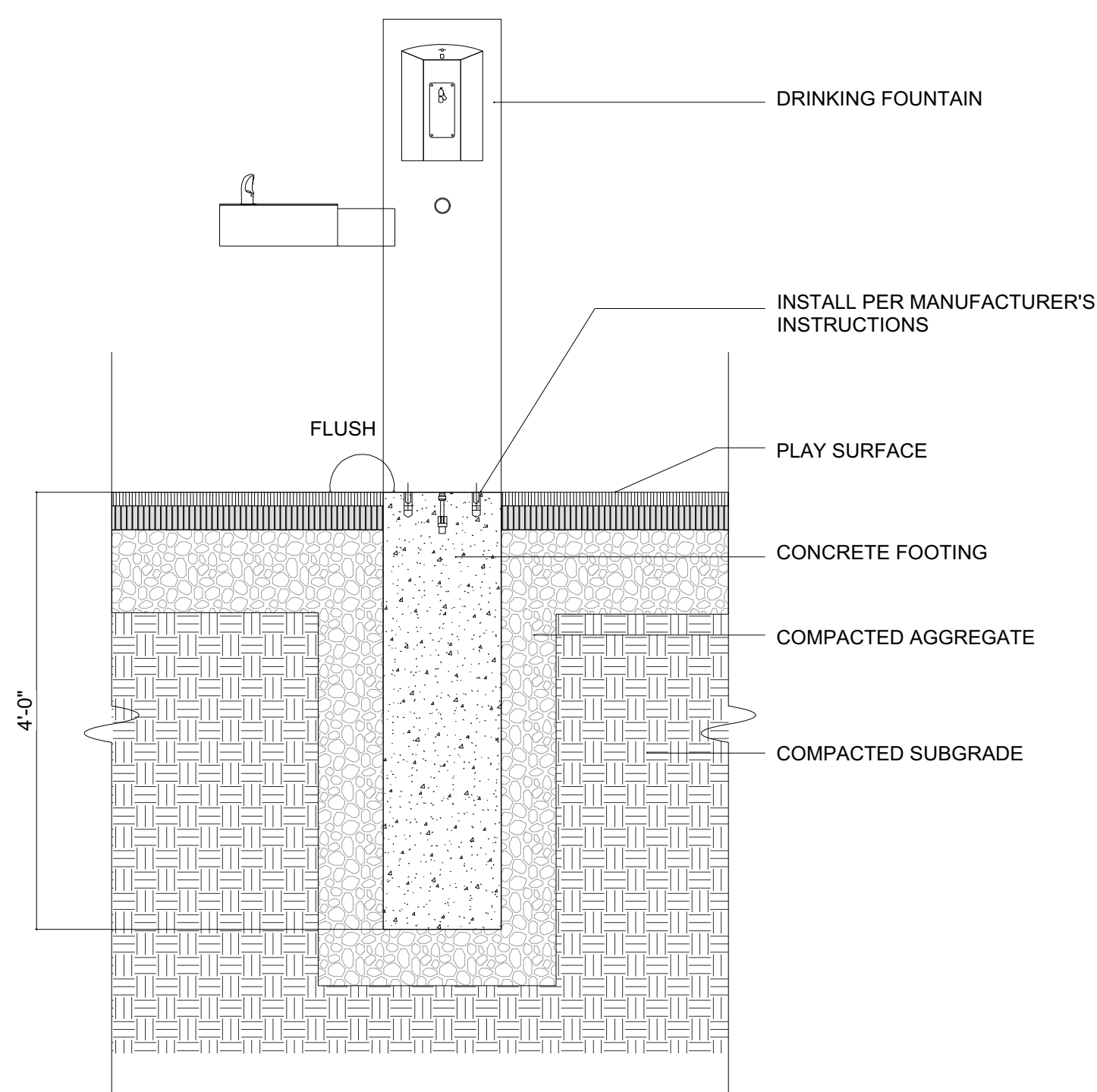
4 (F-BL4) INGROUND BOLLARD
Scale: 3/4" = 1'-0"



5 (F-BR) BIKE RIB BICYCLE RACK
Scale: 3/4" = 1'-0"



6 (F-DF) DRINKING FOUNTAIN
Scale: 3/4" = 1'-0"



7 (F-TR) TRASH RECEPTACLE
Scale: 3/4" = 1'-0"



PROJECT:
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision

CONSULTANTS:
Jones Architecture
10 Derby Sq
Salem, MA

(978) 744-5200
www.jonesarch.com

BLW Engineers, Inc.
311 Great Rd.
Littleton, MA

(978) 486-4301
www.blwengineers.com/

mcla

Michelle Crowley Landscape
Architecture, LLC
281 Summer St. 6th Floor
Boston, MA 02210

617.338.8400
www.michellecrowley-la.com

STAMP:

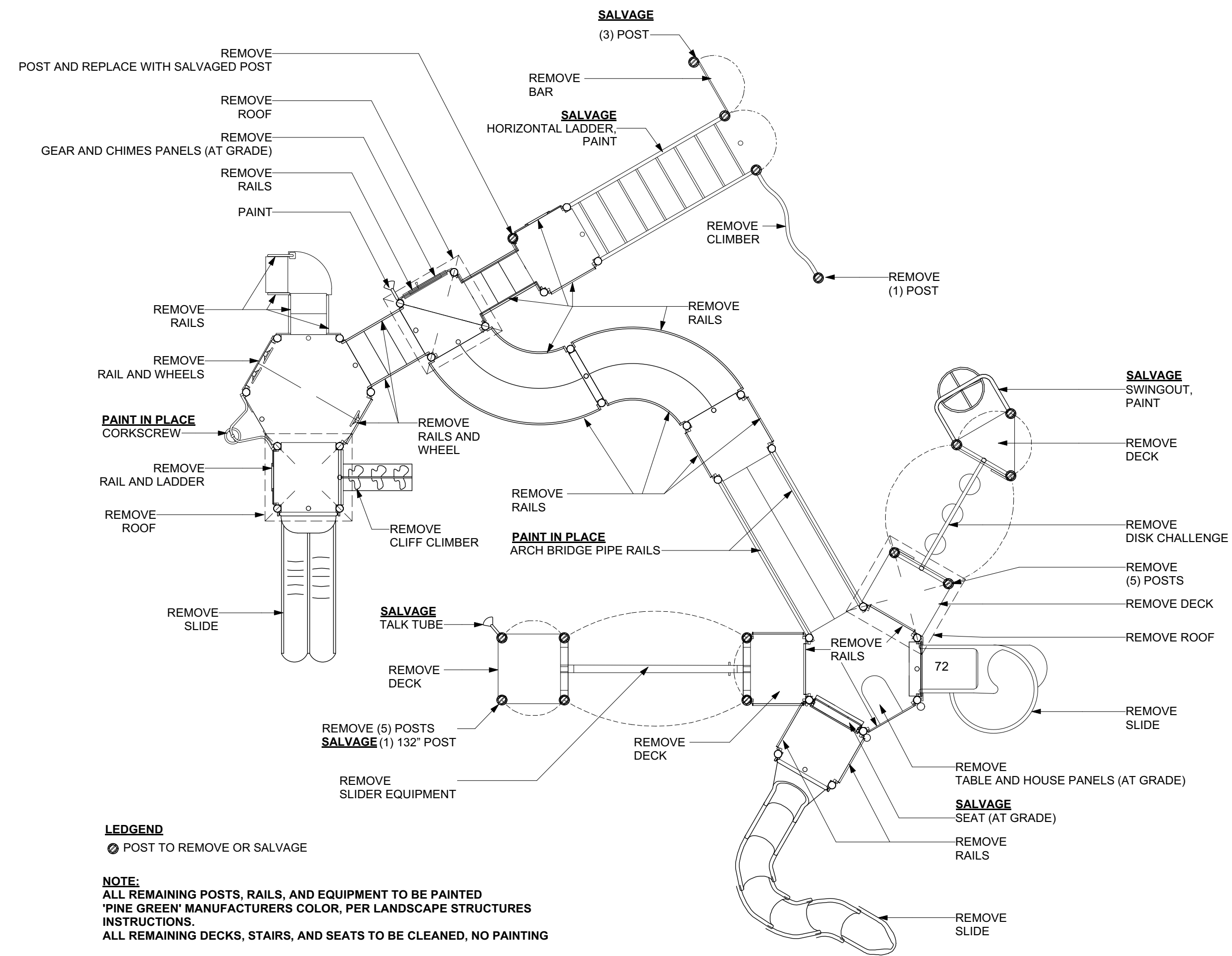


DATE:
July 20, 2016

PROJECT NUMBER: 1405.1 SCALE: As Noted

DRAWING TITLE:
Furnishing
Details - Additional

L5.4



LEGEND

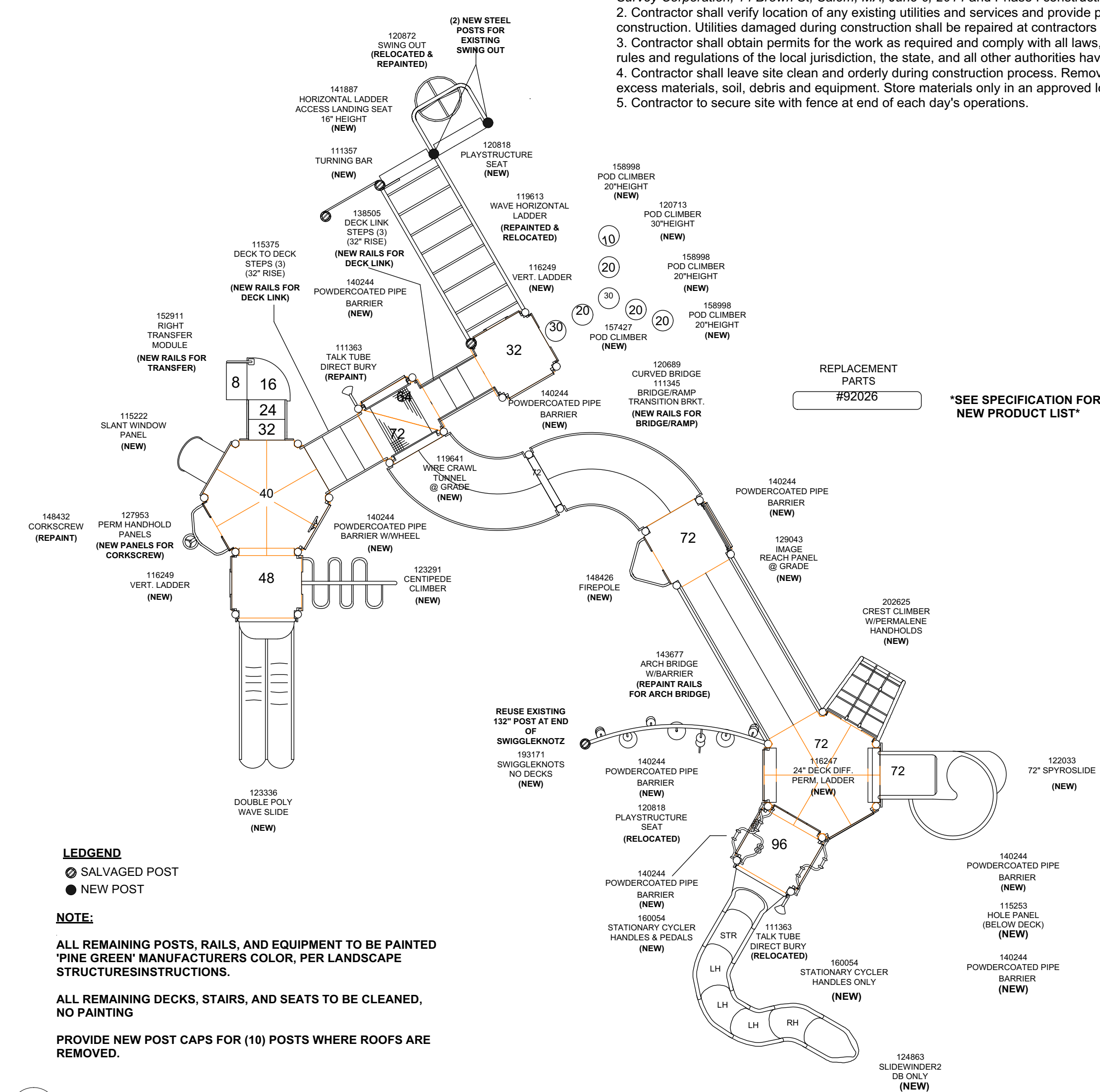
○ POST TO REMOVE OR SALVAGE

NOTE:

ALL REMAINING POSTS, RAILS, AND EQUIPMENT TO BE PAINTED 'PINE GREEN' MANUFACTURERS COLOR, PER LANDSCAPE STRUCTURES INSTRUCTIONS.
ALL REMAINING DECKS, STAIRS, AND SEATS TO BE CLEANED, NO PAINTING

GENERAL NOTES

- Existing conditions and topography data are combined from survey prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014 and Phase I construction documents.
- Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractors expense.
- Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
- Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
- Contractor to secure site with fence at end of each day's operations.



LEGEND

○ SALVAGED POST
● NEW POST

NOTE:

ALL REMAINING POSTS, RAILS, AND EQUIPMENT TO BE PAINTED 'PINE GREEN' MANUFACTURERS COLOR, PER LANDSCAPE STRUCTURES INSTRUCTIONS.

ALL REMAINING DECKS, STAIRS, AND SEATS TO BE CLEANED, NO PAINTING

PROVIDE NEW POST CAPS FOR (10) POSTS WHERE ROOFS ARE REMOVED.



PROJECT
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision

CONSULTANTS:
Jones Architecture
10 Derby Sq
Salem, MA

(978) 744-5200
www.jonesarch.com

BLW Engineers, Inc.
311 Great Rd,
Littleton, MA

(978) 486-4301
www.blwengineers.com/



Michelle Crowley Landscape
Architecture, LLC
281 Summer St. 6th Floor
Boston, MA 02210

617.338.8400
www.michellecrowley-la.com

STAMP:



DATE:
July 20, 2016

PROJECT NUMBER: 1405.1 SCALE: As Noted

DRAWING TITLE:
PlayBooster
Details

L5.5



PROJECT
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision

CONSULTANTS:
Jones Architecture
10 Derby Sq
Salem, MA

(978) 744-5200
www.jonesarch.com

BLW Engineers, Inc.
311 Great Rd,
Littleton, MA

(978) 486-4301
www.blwengineers.com/

mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St, 6th Floor
Boston, MA 02210

617.338.8400
www.michellecrowley-la.com

STAMP:

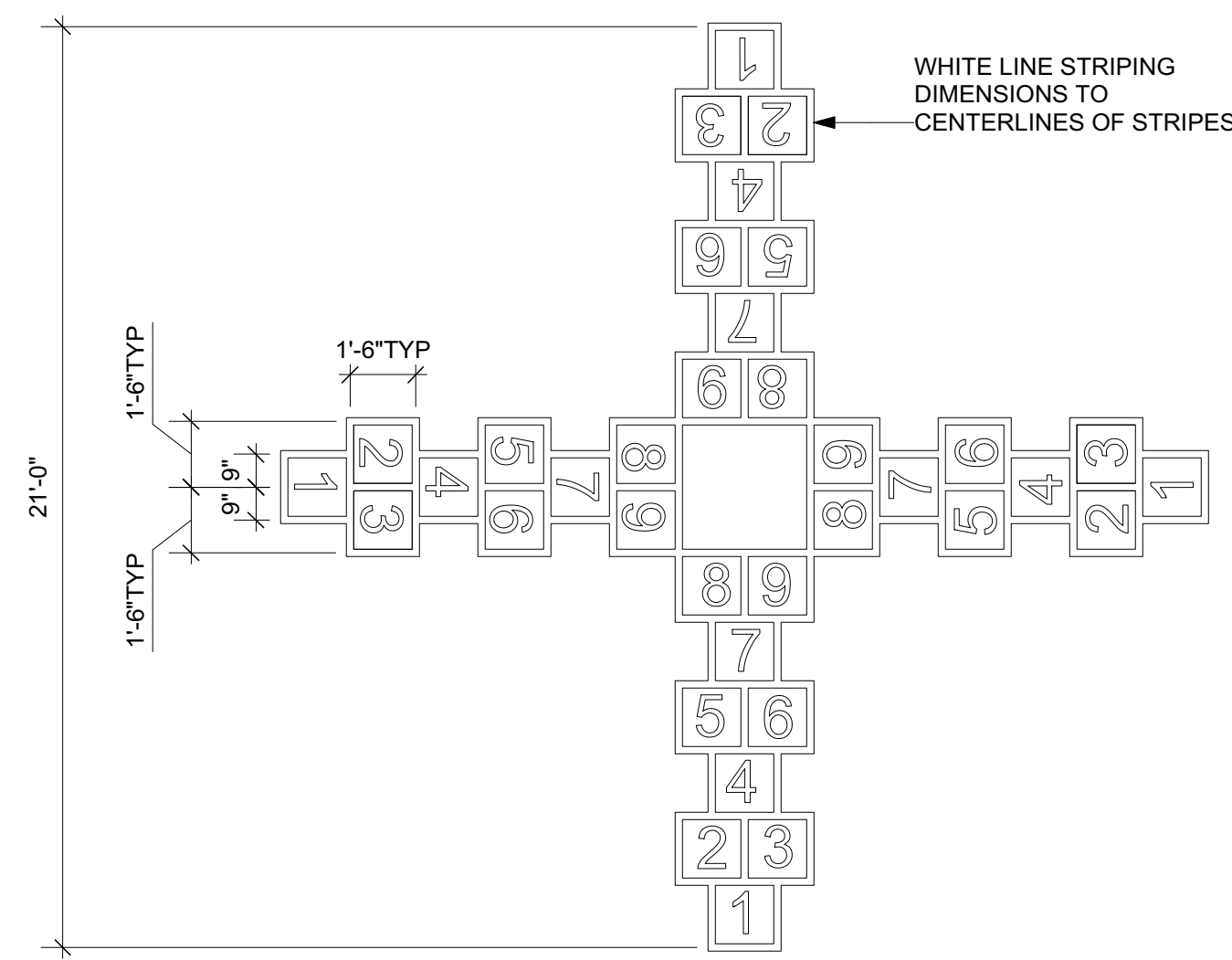


DATE:
July 20, 2016

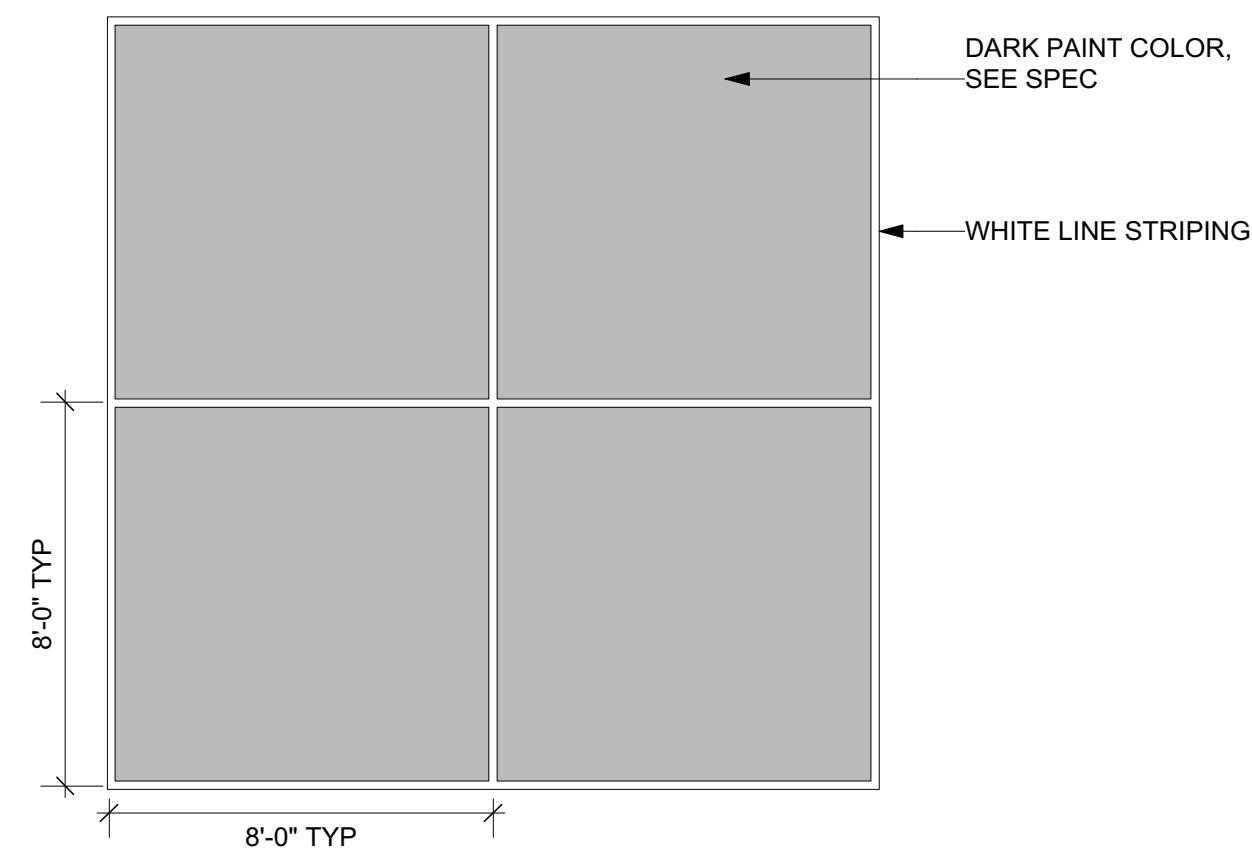
PROJECT NUMBER: 1405.1 SCALE: As Noted

DRAWING TITLE:
Asphalt Paint
Details

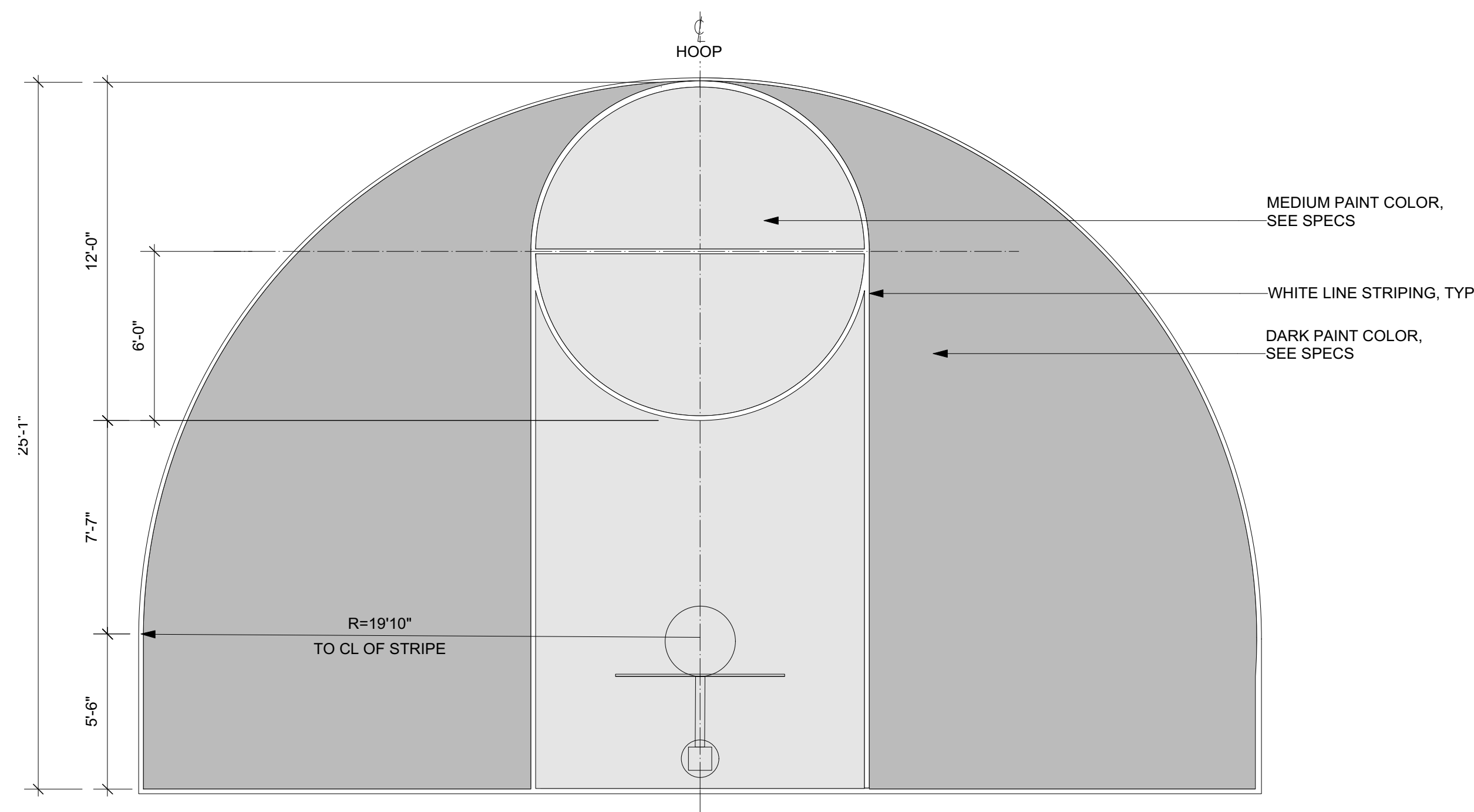
L5.6



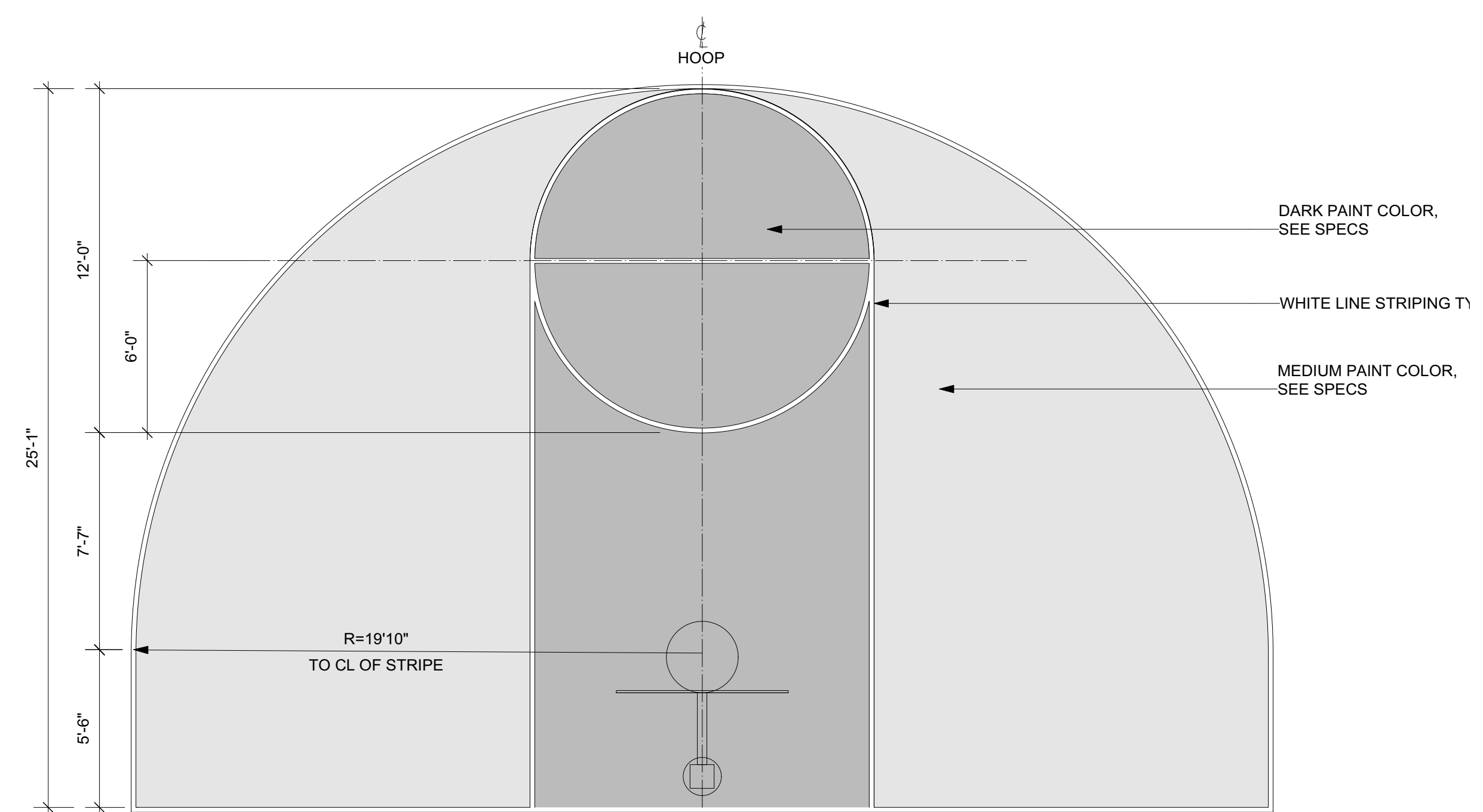
1 (AP-1) ASPHALT PAINT- HOPSCOTCH
Scale: 1/4" = 1'-0"



2 (AP-2) ASPHALT PAINT- FOUR SQUARE
Scale: 1/4" = 1'-0"



3 (AP-3) ASPHALT PAINT- BASKETBALL COLOR 1
Scale: 1/4" = 1'-0"



4 (AP-4) ASPHALT PAINT- BASKETBALL COLOR 2
Scale: 1/4" = 1'-0"



PROJECT
 MARY JANE LEE PARK
 PHASE II
 Palmer St
 Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision

CONSULTANTS:
 Jones Architecture
 10 Derby Sq
 Salem, MA
 (978) 744-5200
 www.jonesarch.com

BLW Engineers, Inc.
 311 Great Rd,
 Littleton, MA
 (978) 486-4301
 www.blwengineers.com/

mcla
 Michelle Crowley Landscape
 Architecture, LLC
 281 Summer St, 6th Floor
 Boston, MA 02210
 617.338.8400
 www.michellecrowley-la.com

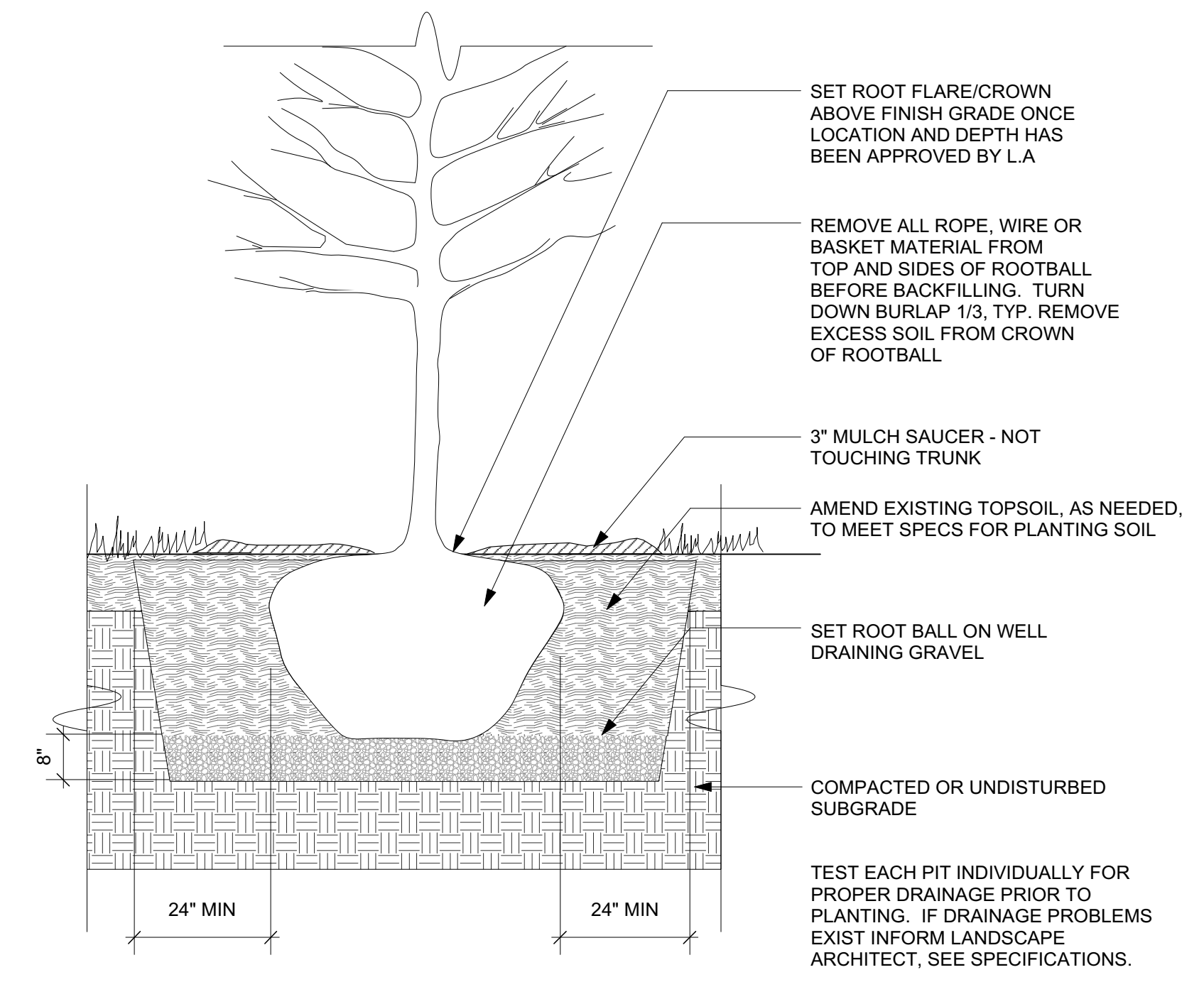


DATE:
 July 20, 2016

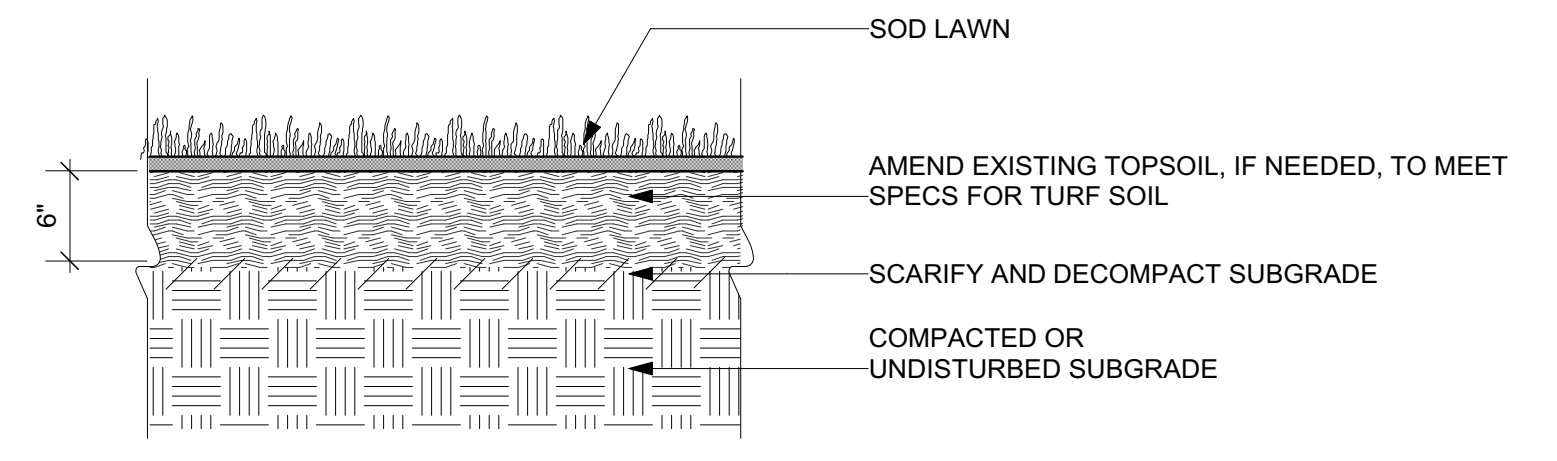
PROJECT NUMBER: 1405.1 SCALE: As Noted

DRAWING TITLE:
 Planting
 Details

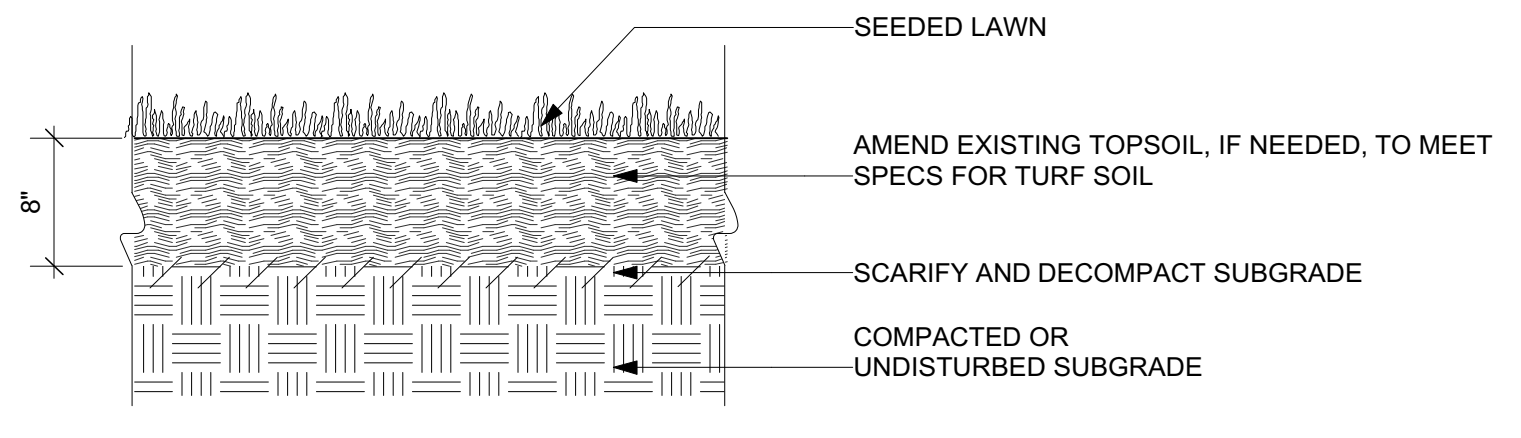
L5.7



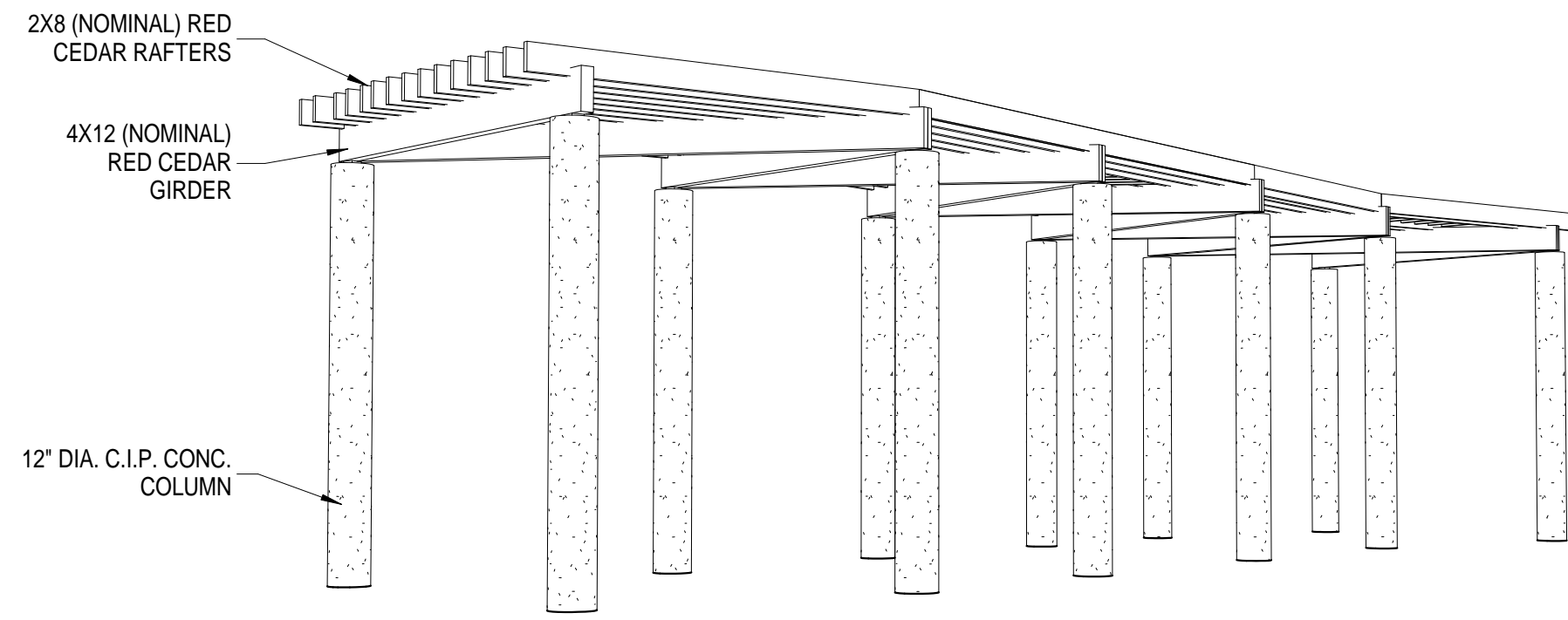
3 (PL-TR) TREE
 Scale: 1/2" = 1'-0"



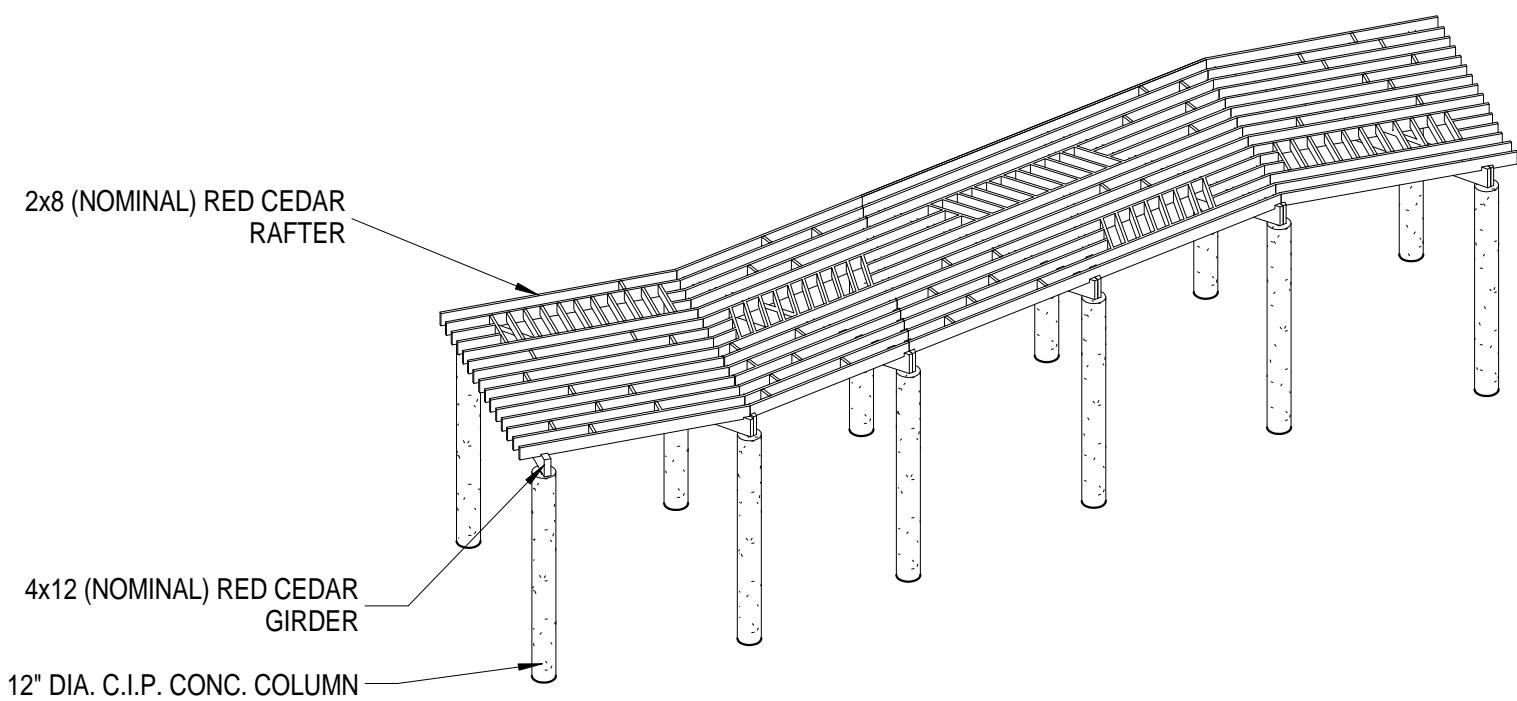
2 (PL-SD) SOD
 Scale: 1" = 1'-0"



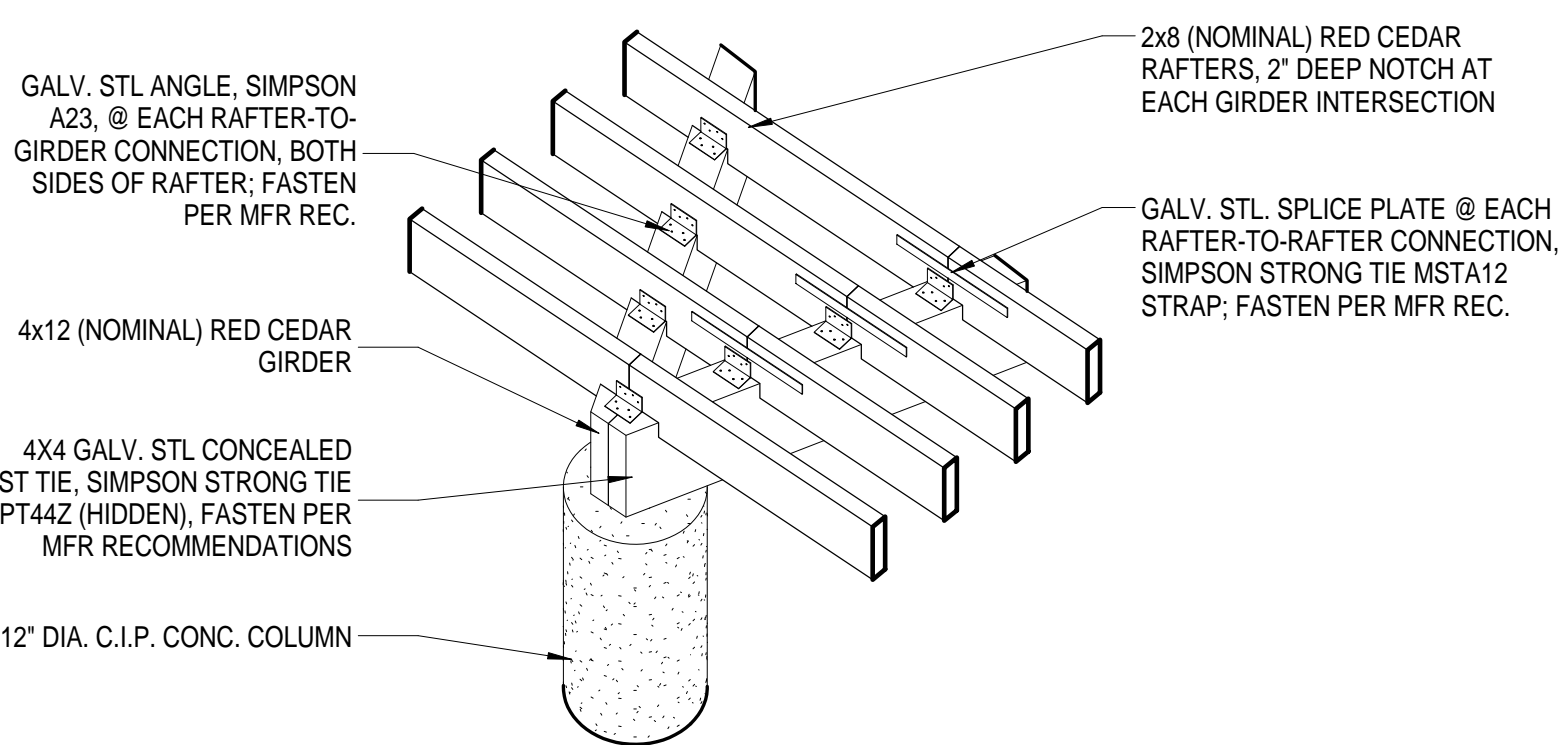
1 (PL-HS) HYDROSEEDED LAWN
 Scale: 1" = 1'-0"



9 PERSPECTIVE VIEW FROM SOUTH WEST



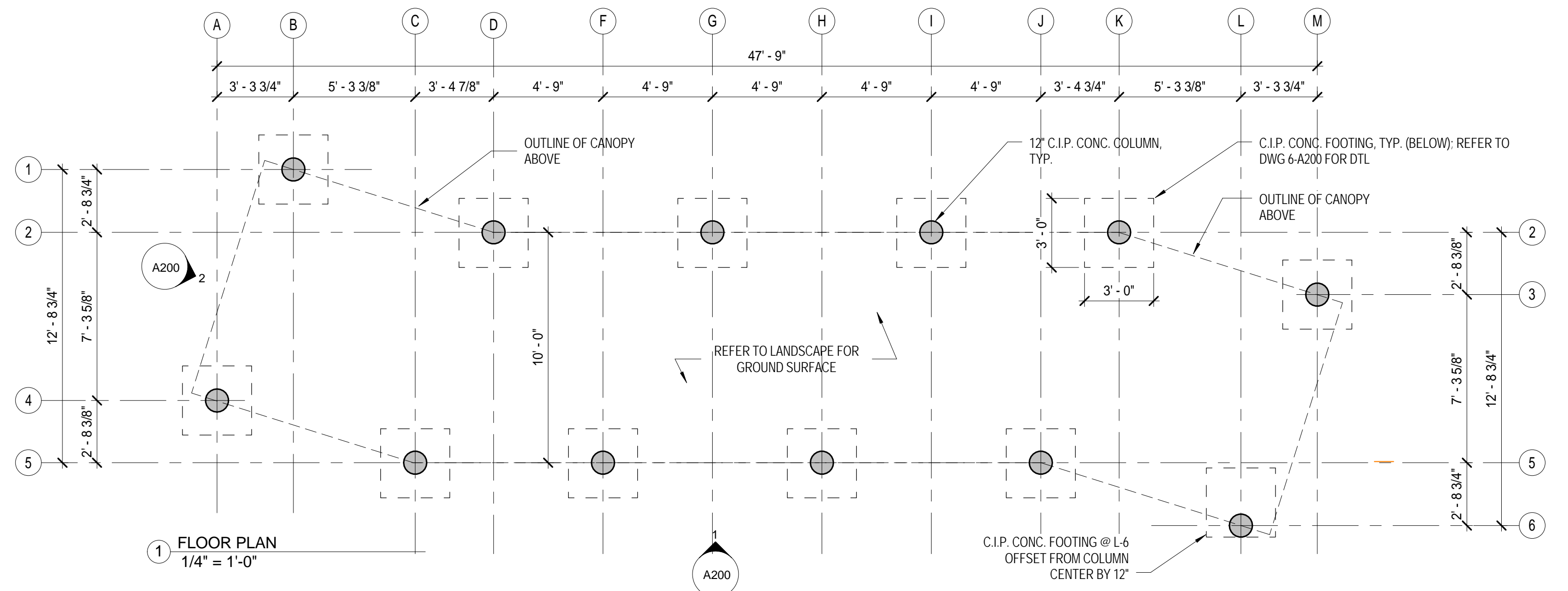
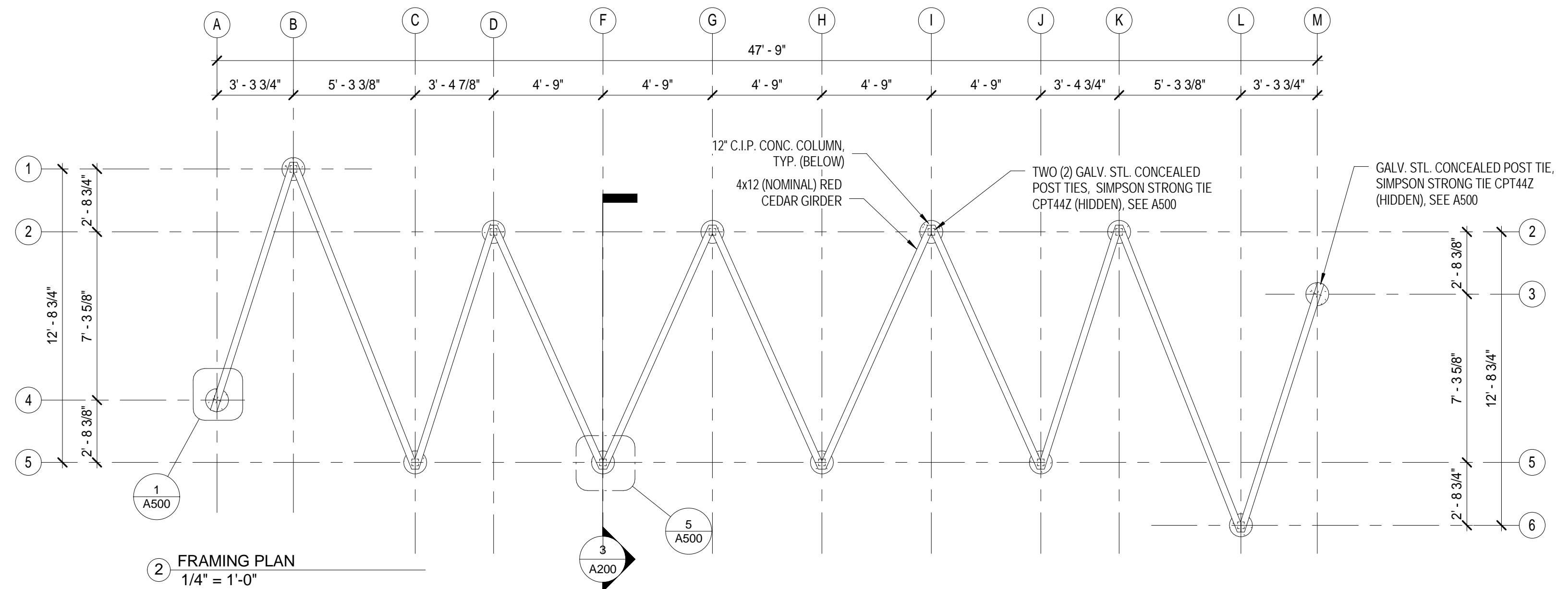
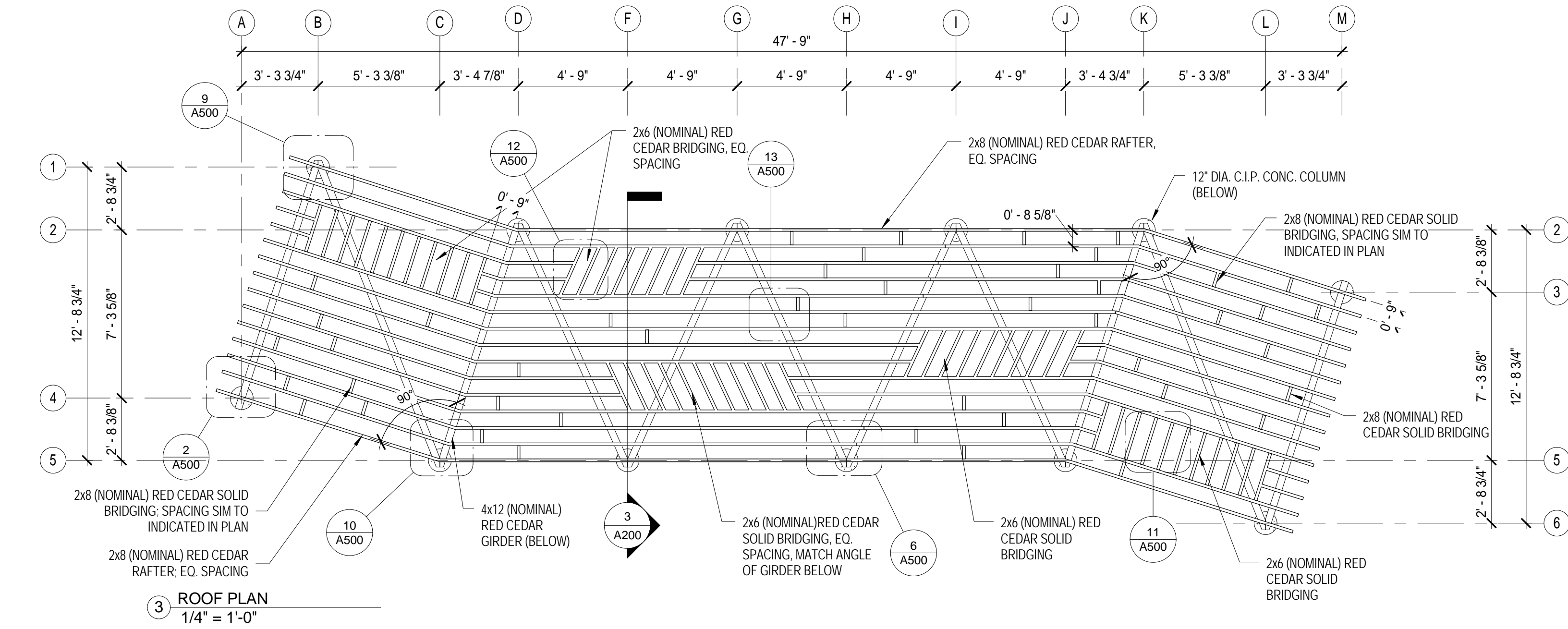
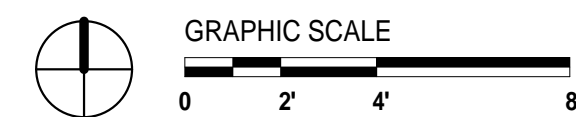
5 ORTHO BIRDSEYE VIEW FROM SOUTH WEST



4 PERSPECTIVE COLUMN DETAIL, SIM.

GENERAL NOTES

1. ALL WOOD MEMBERS SURFACED FOUR SIDES (S4S)
2. ALL STL CONNECTORS TO BE GALVANIZED



PROJECT:
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. _____ Date _____ Revision _____
CONSULTANTS:
Jones Architecture, INC
10 Derby Square
Salem, MA 01970
978.744.5200
www.jonesarch.com

STAMP:
mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St, 6th Floor
Boston, MA 02210
617.338.8400
www.michellecrowley-la.com

STAMP:

DATE:
JULY 20, 2016
PROJECT NUMBER:
1405.1
SCALE:
As indicated

DRAWING TITLE:
PAVILION PLANS
& 3D VIEWS

A100



PROJECT:
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. _____ Date _____ Revision _____
CONSULTANTS:
Jones Architecture, INC
10 Derby Square
Salem, MA 01970
978.744.5200
www.jonesarch.com

STAMP:
mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St, 6th Floor
Boston, MA 02210
617.338.8400
www.michellecrowley-la.com

DATE:
JULY 20, 2016
PROJECT NUMBER:
1405.1
SCALE:
As indicated
DRAWING TITLE:
ELEVATIONS &
COLUMN DETAIL

DATE:
JULY 20, 2016

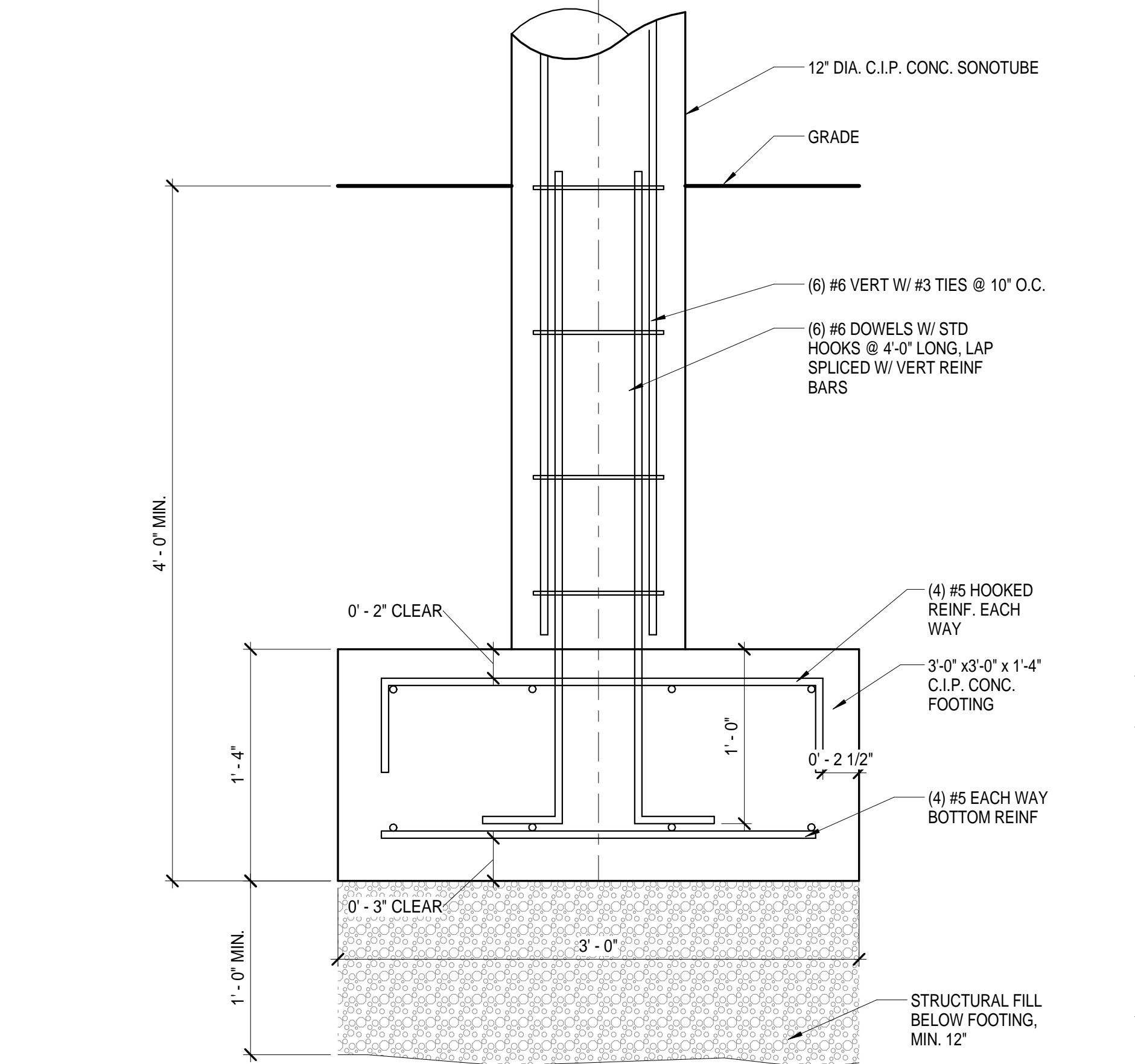
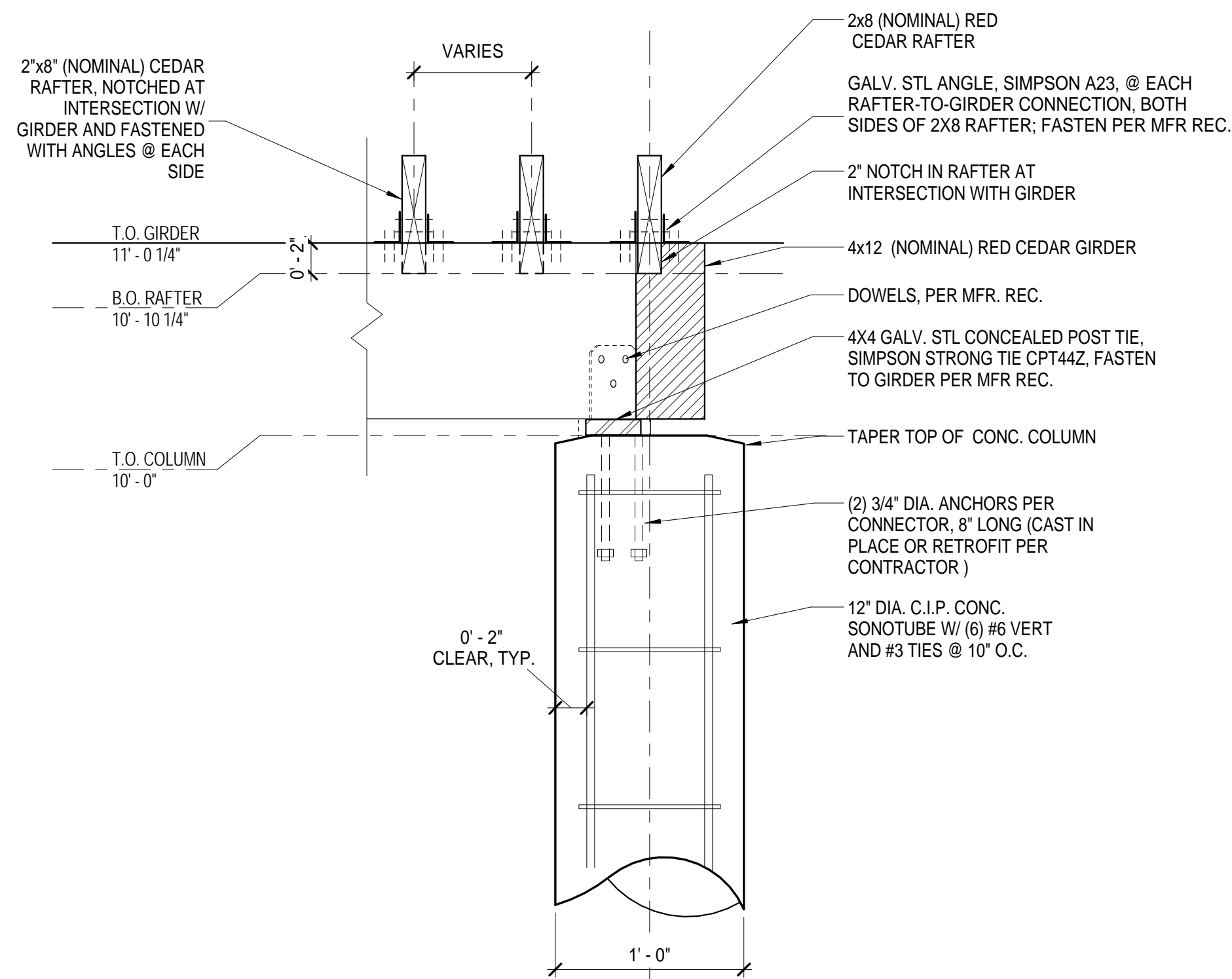
PROJECT NUMBER:
1405.1
SCALE:
As indicated

DRAWING TITLE:
ELEVATIONS &
COLUMN DETAIL

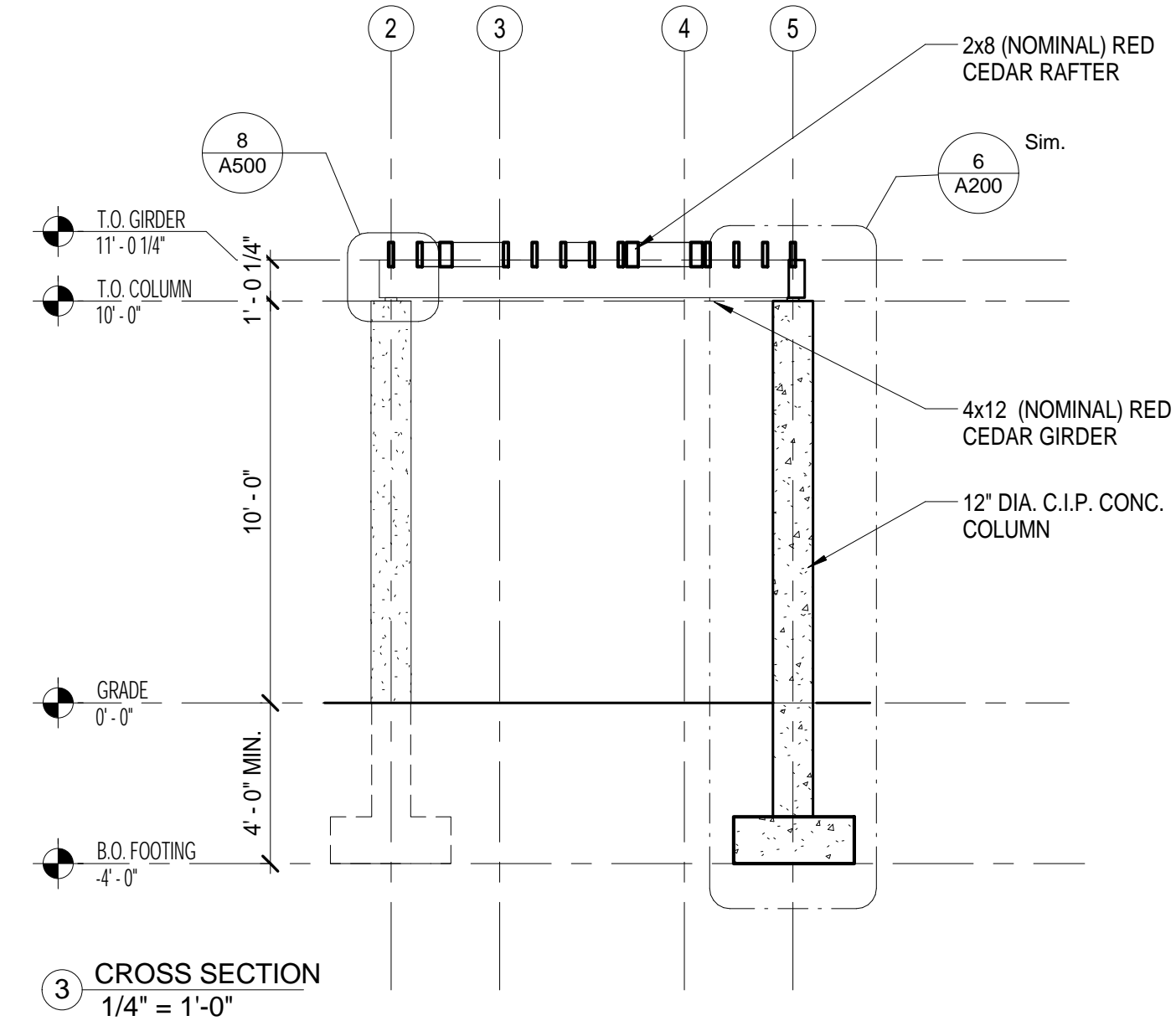
A200

GENERAL NOTES

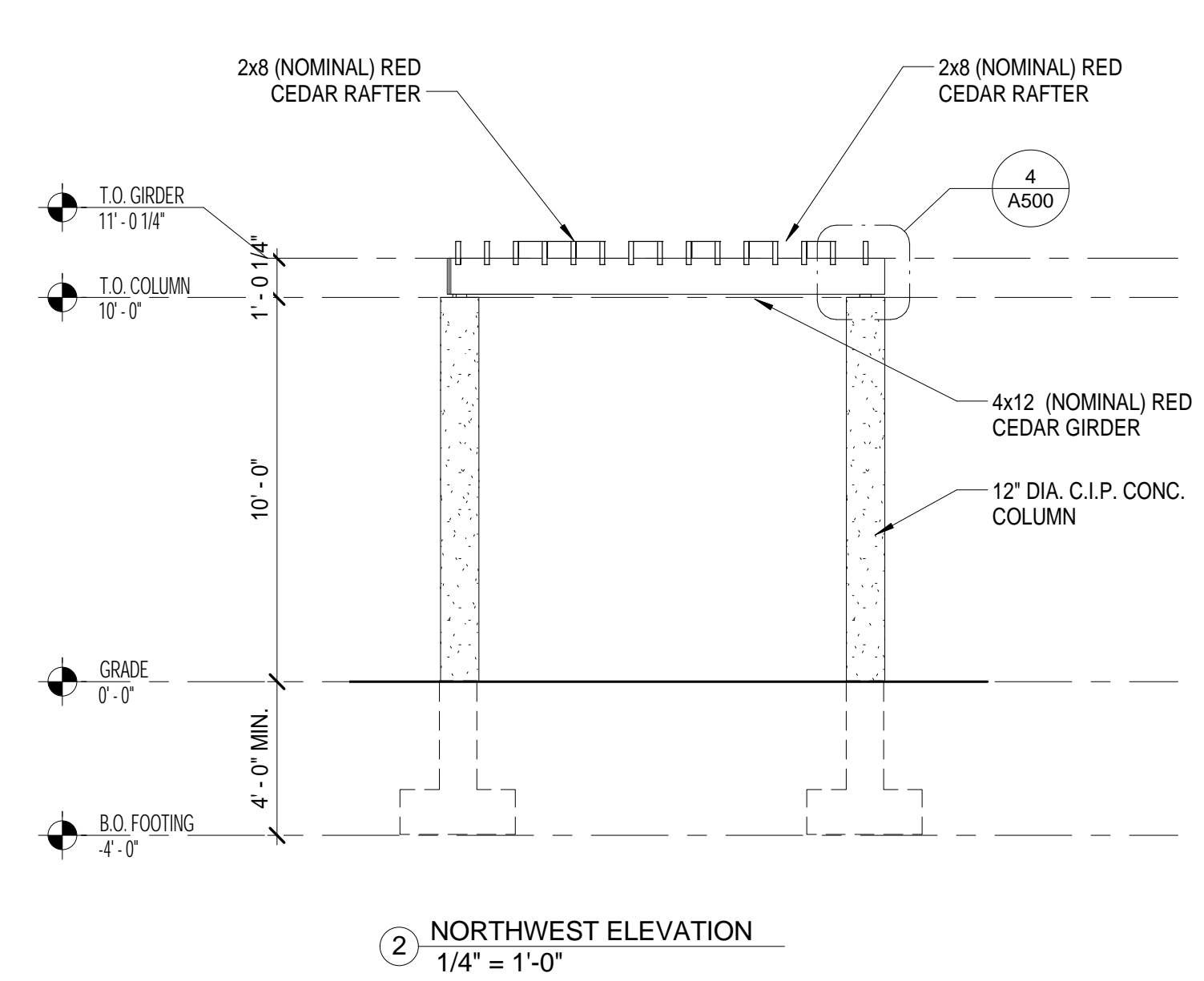
1. ALL WOOD MEMBERS SURFACED FOUR SIDES (S4S)
2. ALL STL CONNECTORS TO BE GALVANIZED



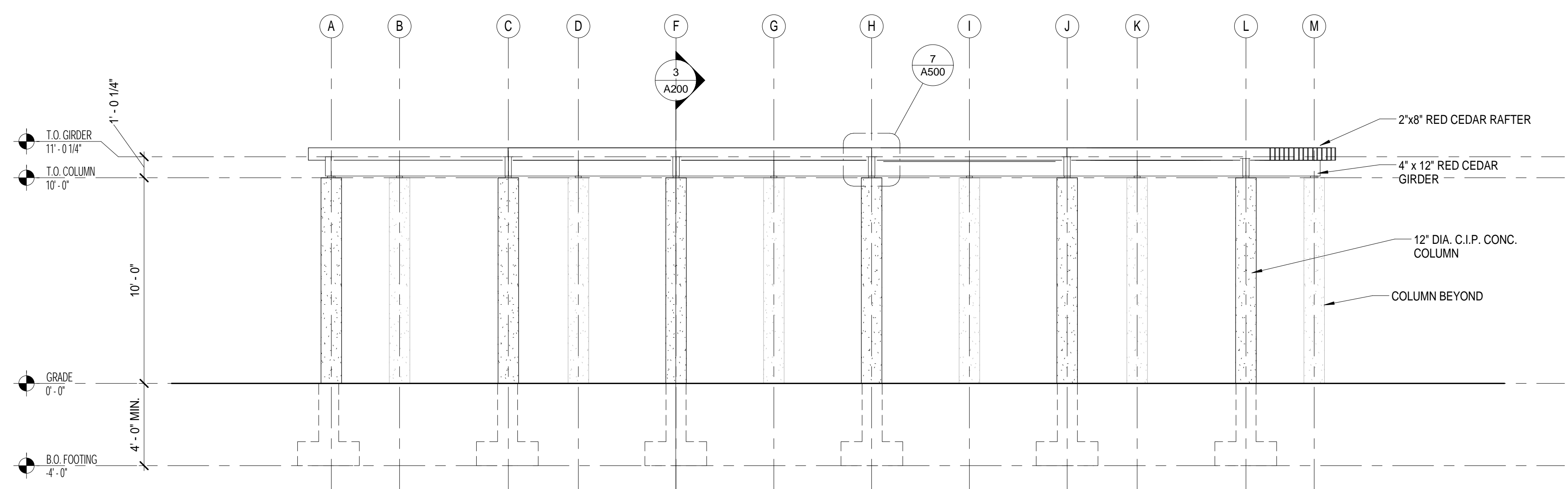
6 CONCRETE COLUMN DETAIL, SIM.
1 1/2" = 1'-0"



1 SOUTH ELEVATION - OVERALL
1/4" = 1'-0"



2 NORTHWEST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION - OVERALL
1/4" = 1'-0"



PROJECT:
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. _____ Date _____ Revision _____

CONSULTANTS:

Jones Architecture, INC
10 Derby Square
Salem, MA 01970

978.744.5200
www.jonesarch.com

STAMP:

mcla

Michelle Crowley Landscape
Architecture, LLC
281 Summer St, 6th Floor
Boston, MA 02210

617.338.8400
www.michellecrowley-la.com

STAMP:

DATE:
JULY 20, 2016

PROJECT NUMBER: 1405.1 SCALE: 1 1/2" = 1'-0"

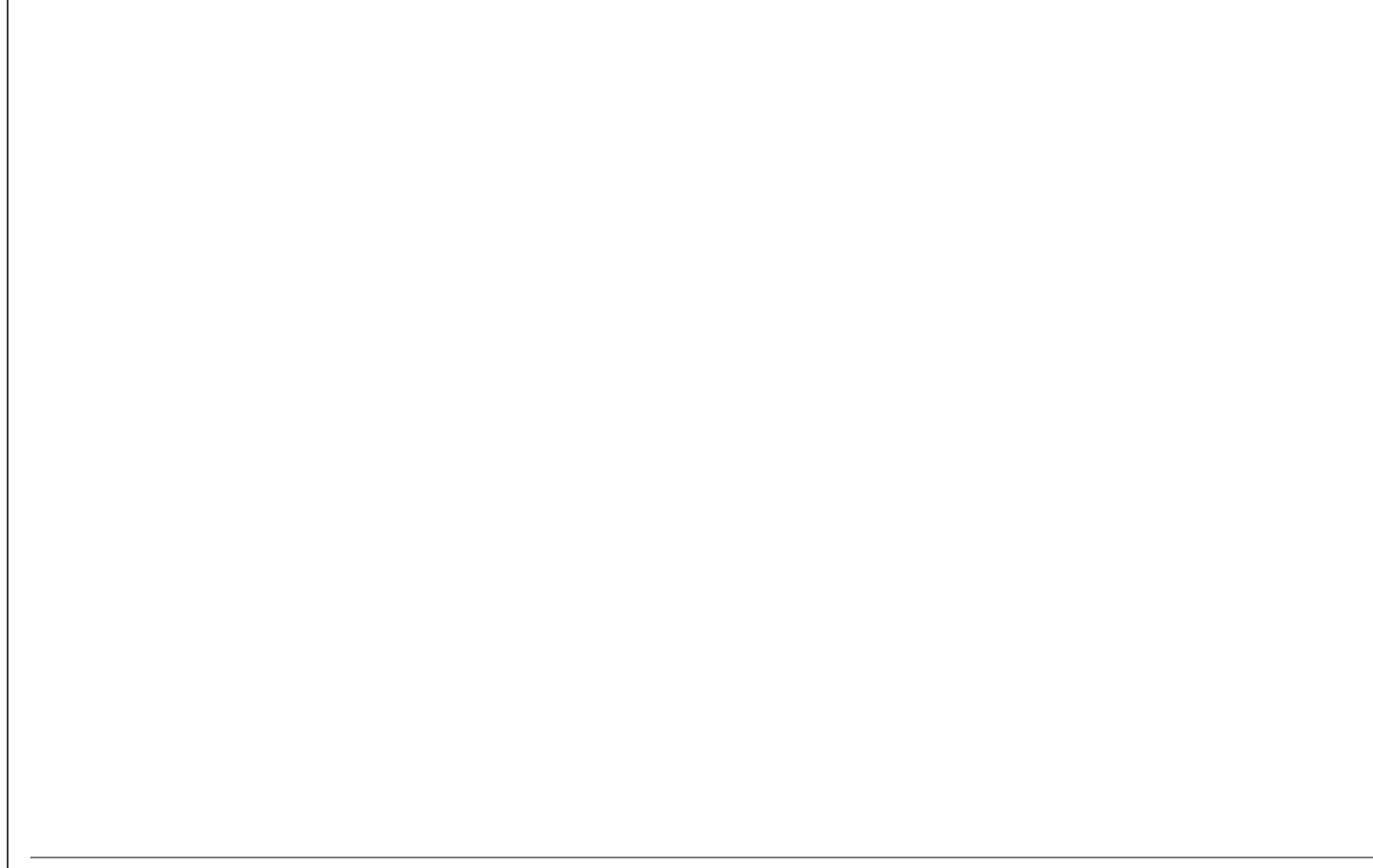
DRAWING TITLE:

DETAILS

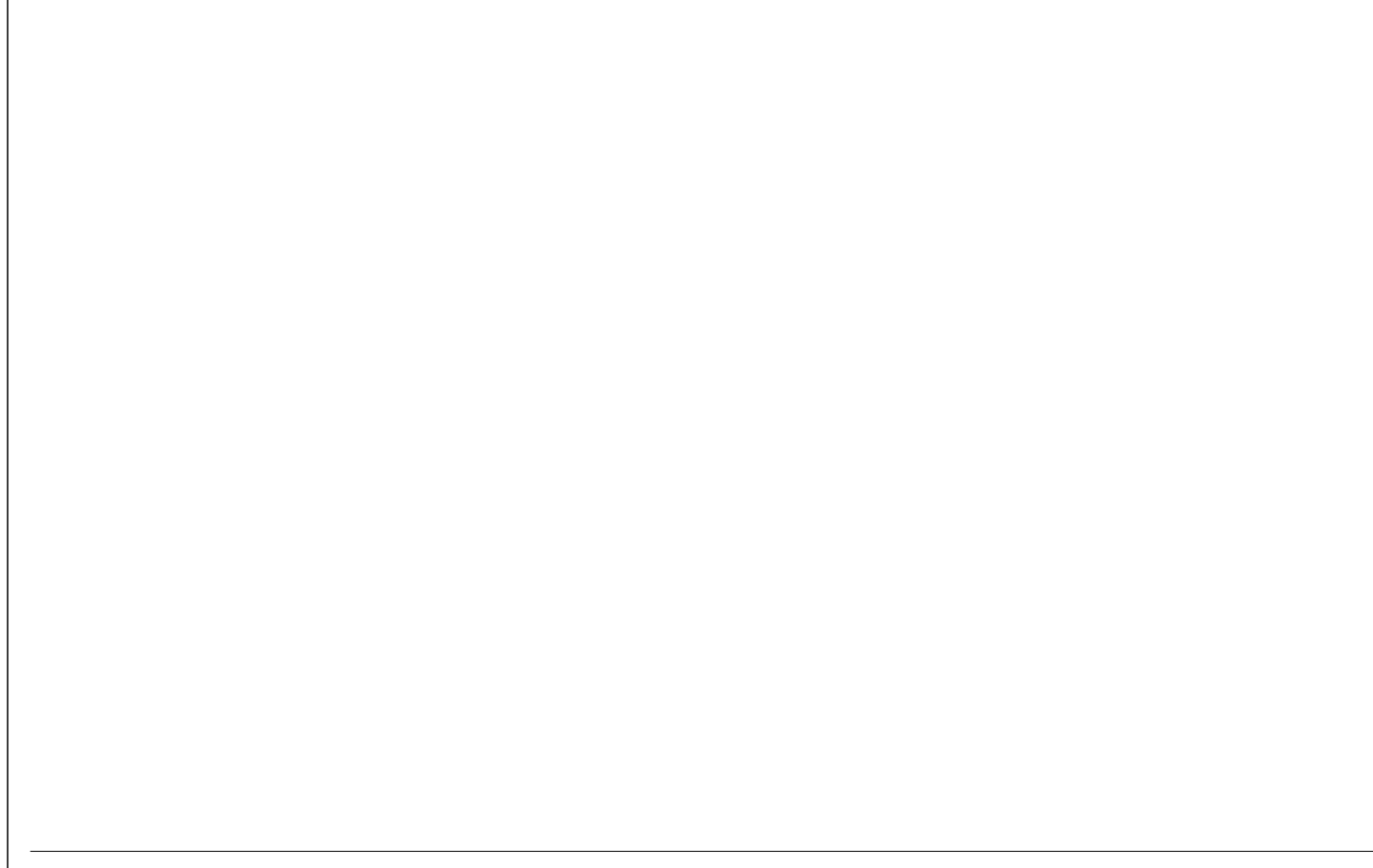
A500



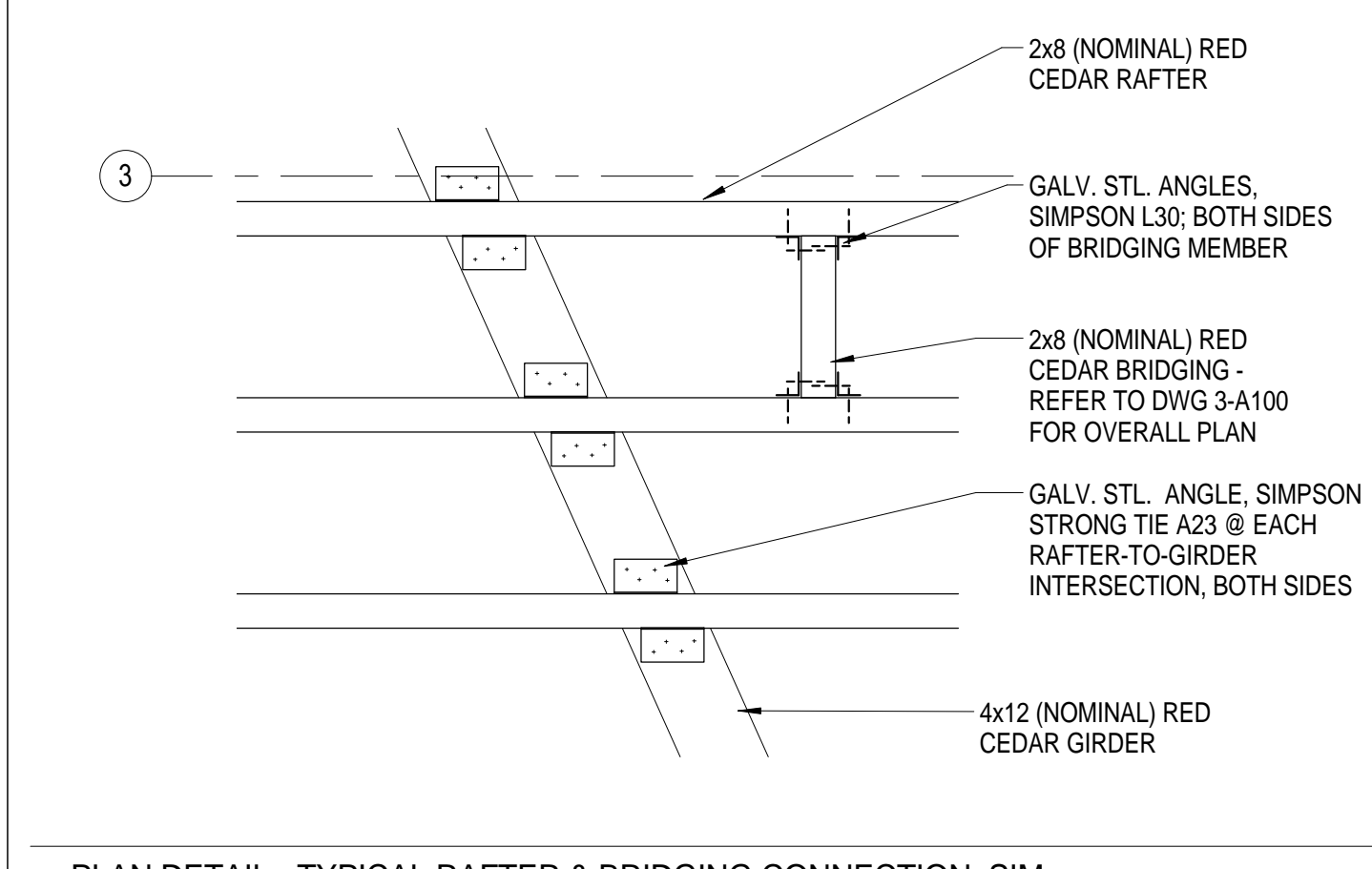
12 PLAN DETAIL @ SKEWED BRIDGING, SIM.
1 1/2" = 1'-0"



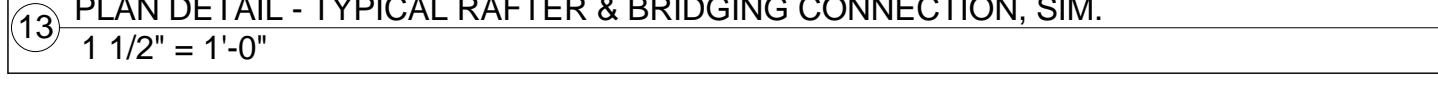
11 PLAN DETAIL @ PERPENDICULAR BRIDGING, SIM.
1 1/2" = 1'-0"



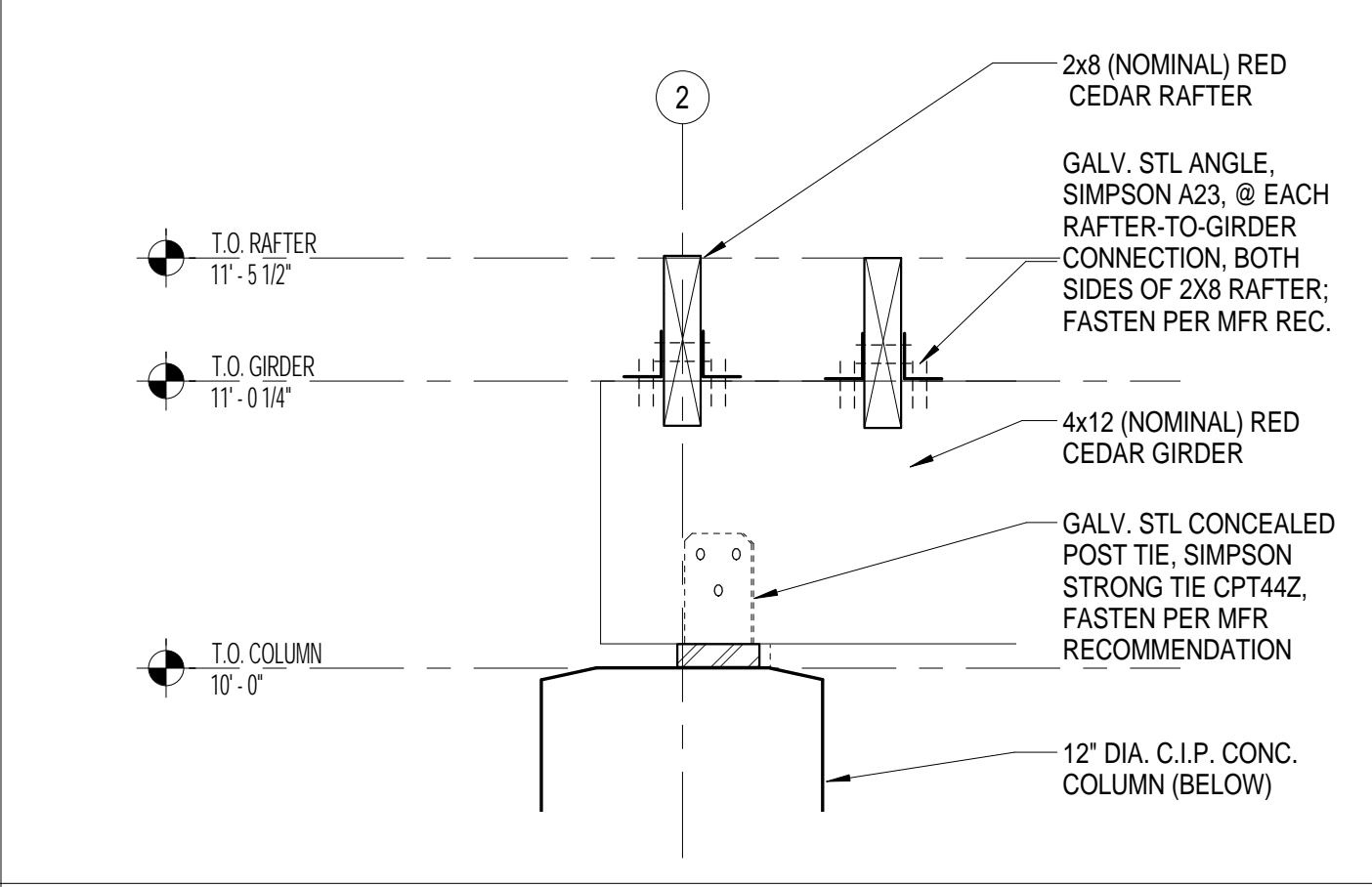
10 PLAN DETAIL @ COLUMNS C.5 & K.2, SIM
1 1/2" = 1'-0"



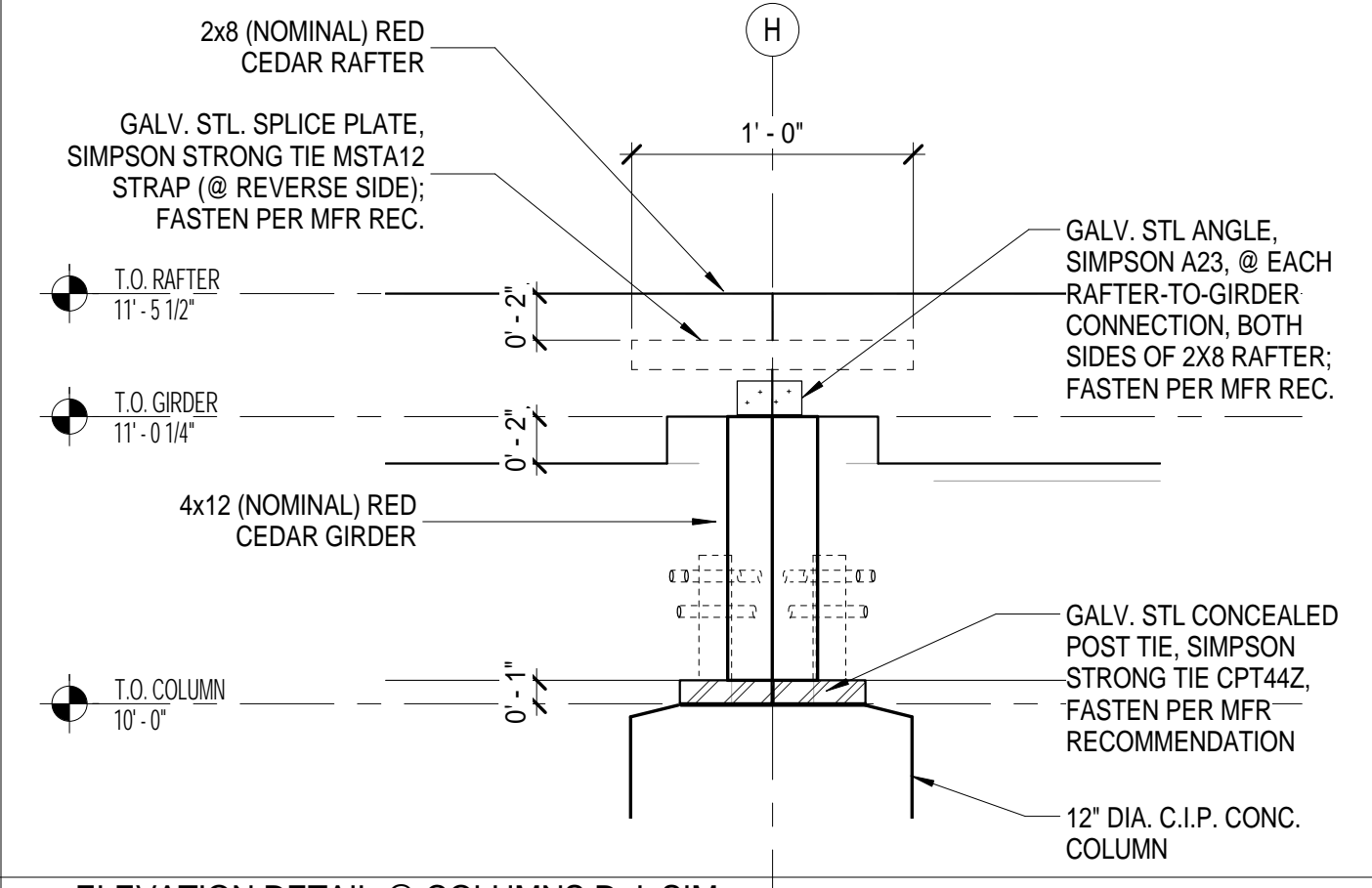
13 PLAN DETAIL - TYPICAL RAFTER & BRIDGING CONNECTION, SIM.
1 1/2" = 1'-0"



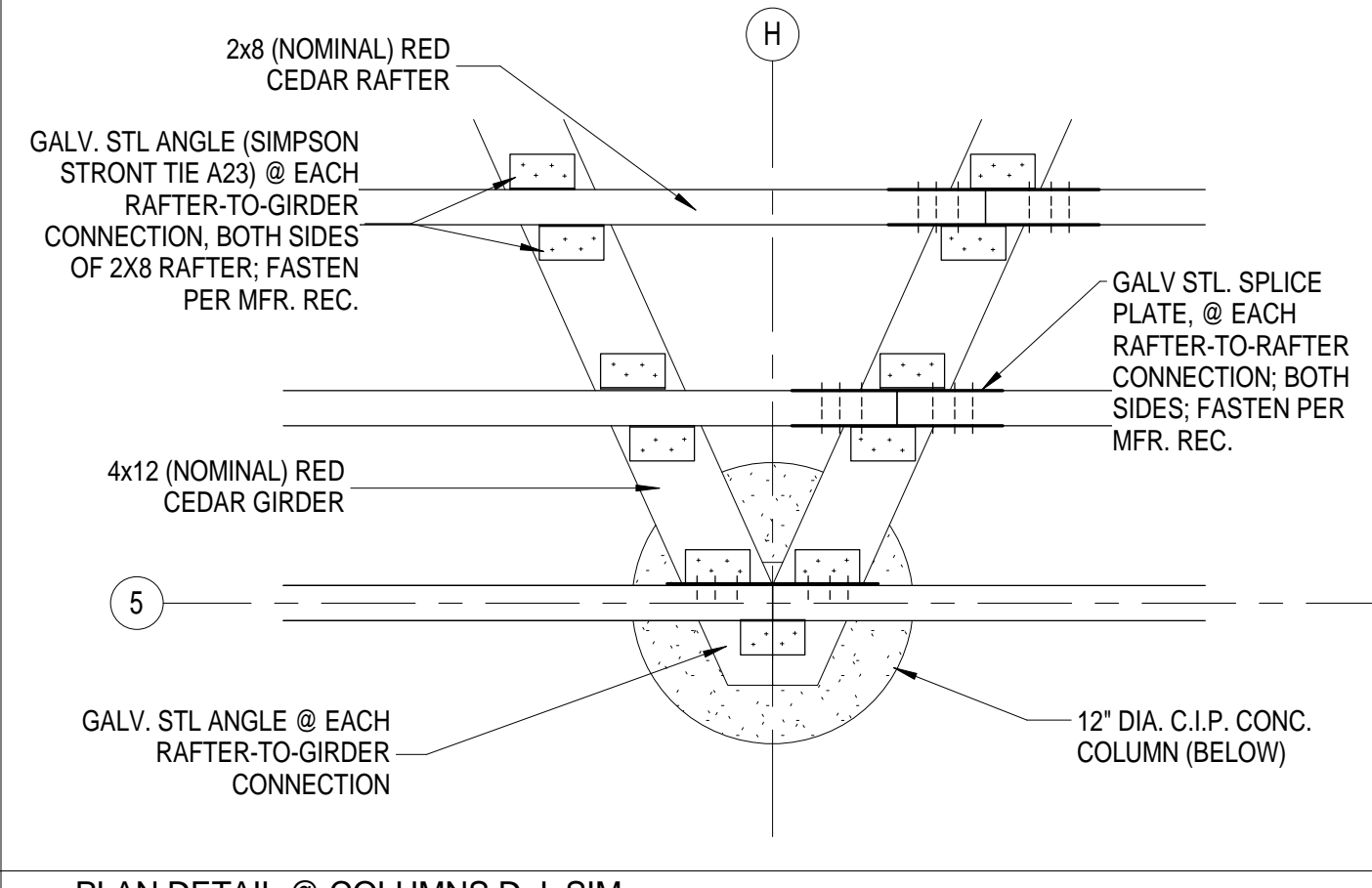
9 PLAN DETAIL @ COLUMNS B.1 & L.6, SIM.
1 1/2" = 1'-0"



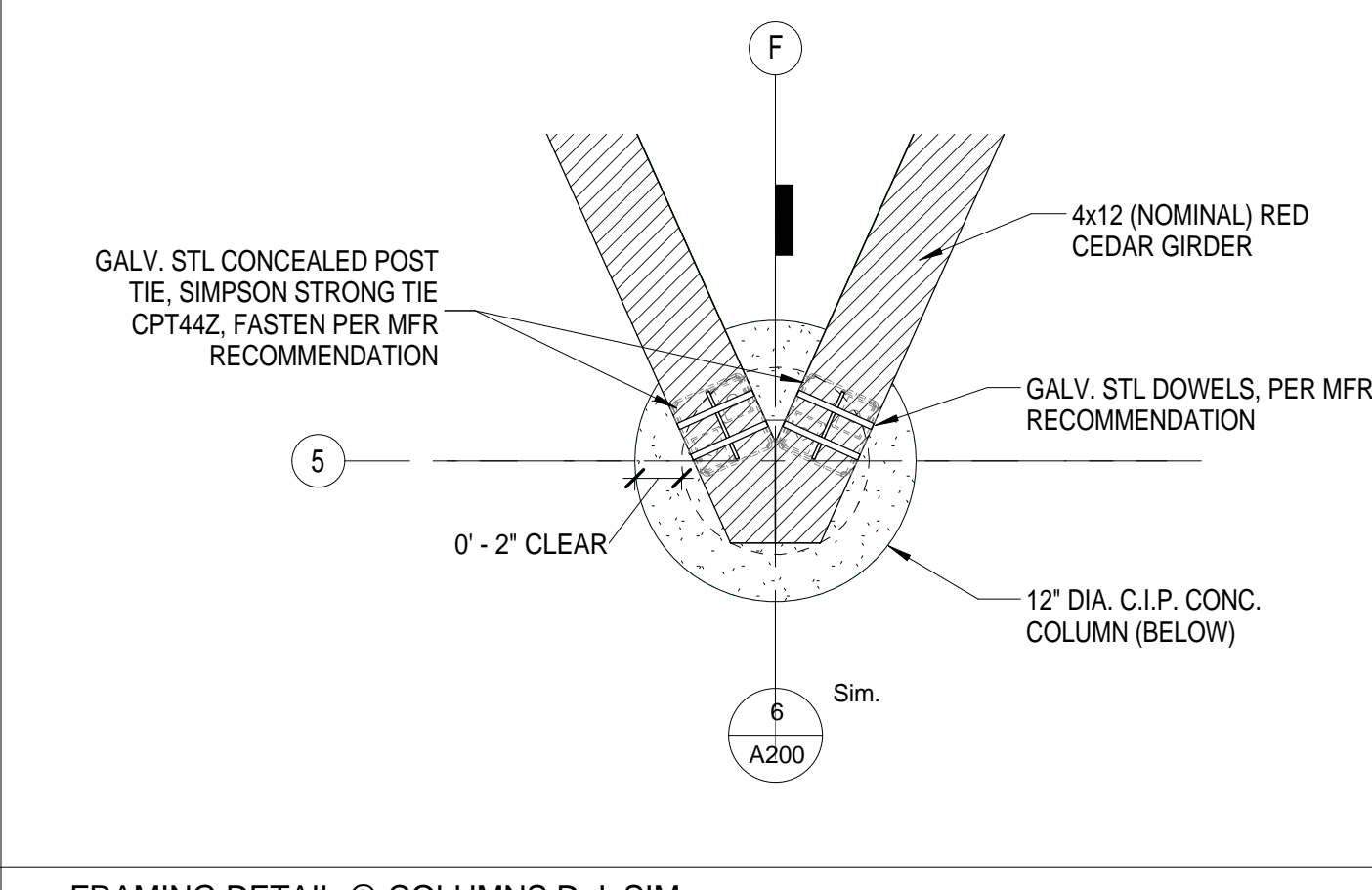
8 ELEVATION DETAIL @ COLUMNS B-L, SIM.
1 1/2" = 1'-0"



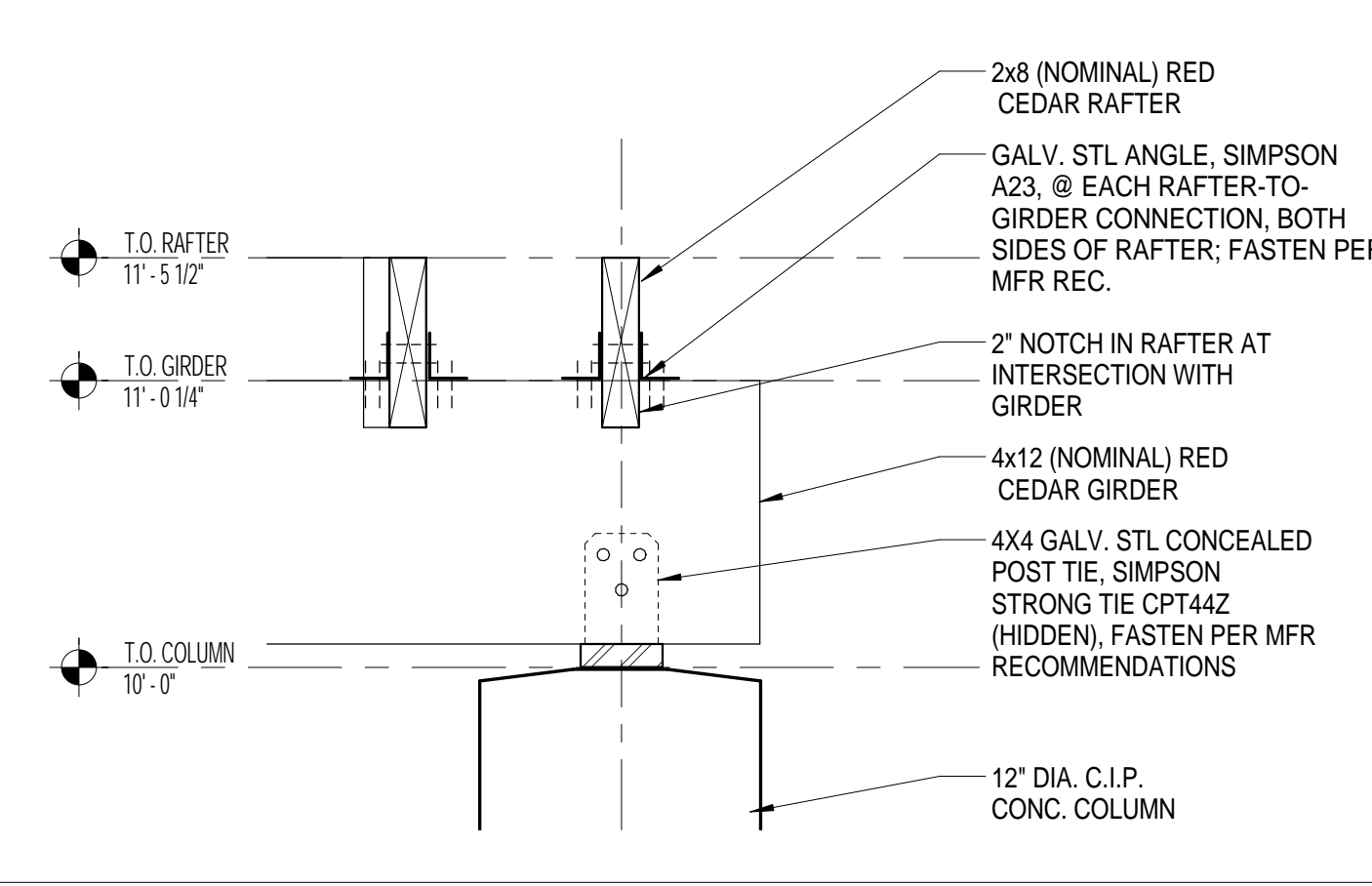
7 ELEVATION DETAIL @ COLUMNS D-J, SIM.
1 1/2" = 1'-0"



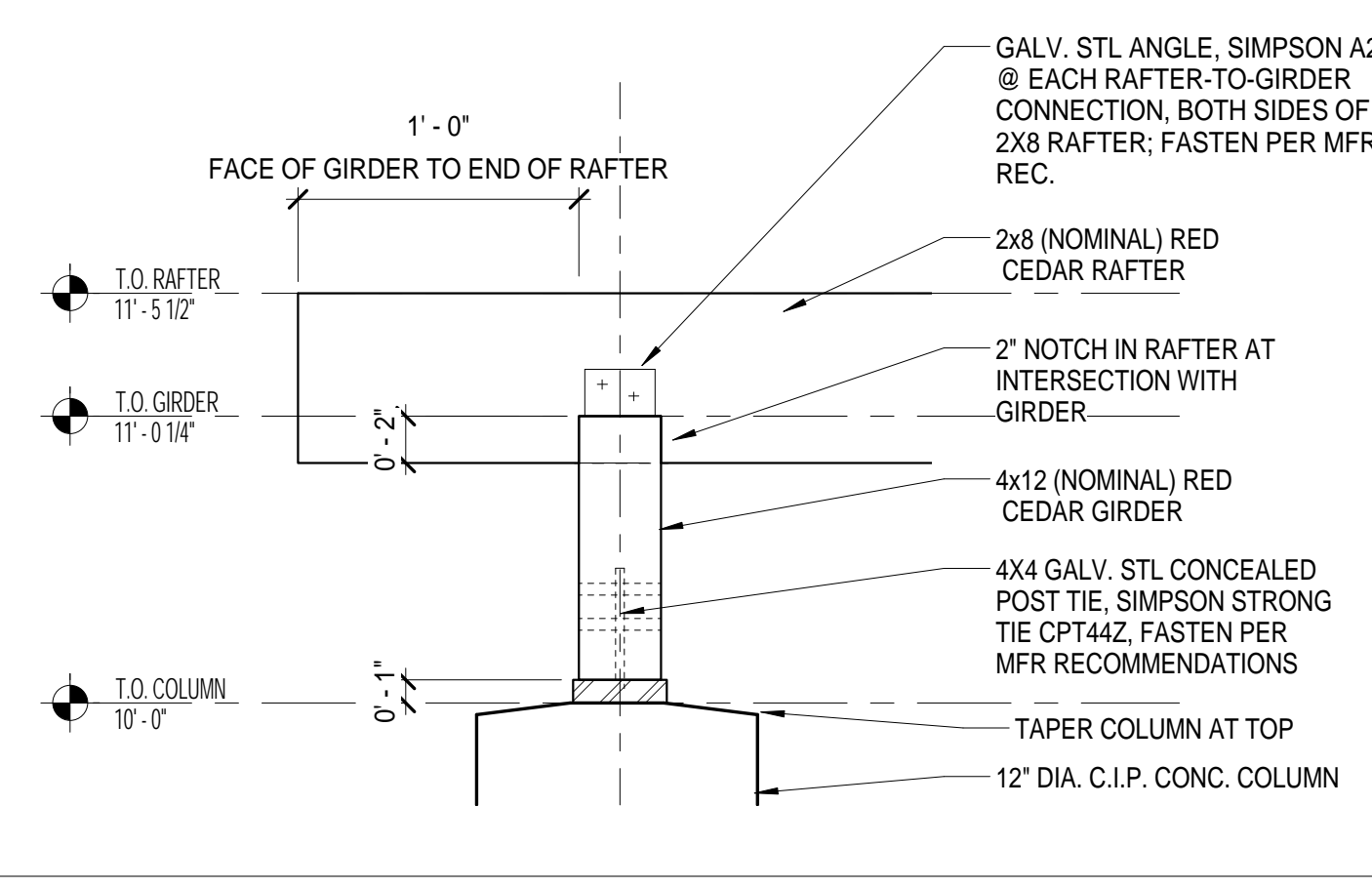
6 PLAN DETAIL @ COLUMNS D-J, SIM.
1 1/2" = 1'-0"



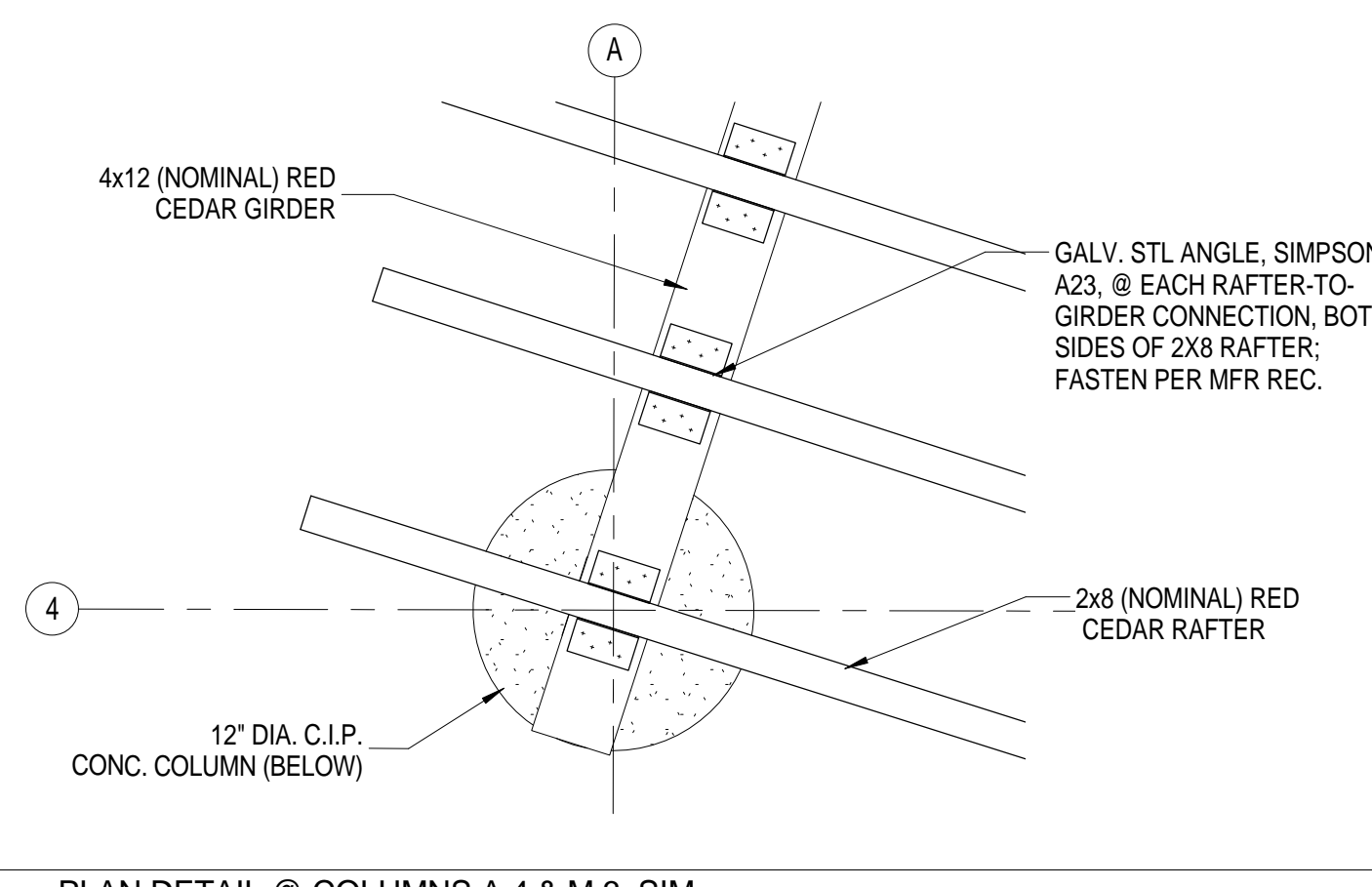
5 FRAMING DETAIL @ COLUMNS D-J, SIM.
1 1/2" = 1'-0"



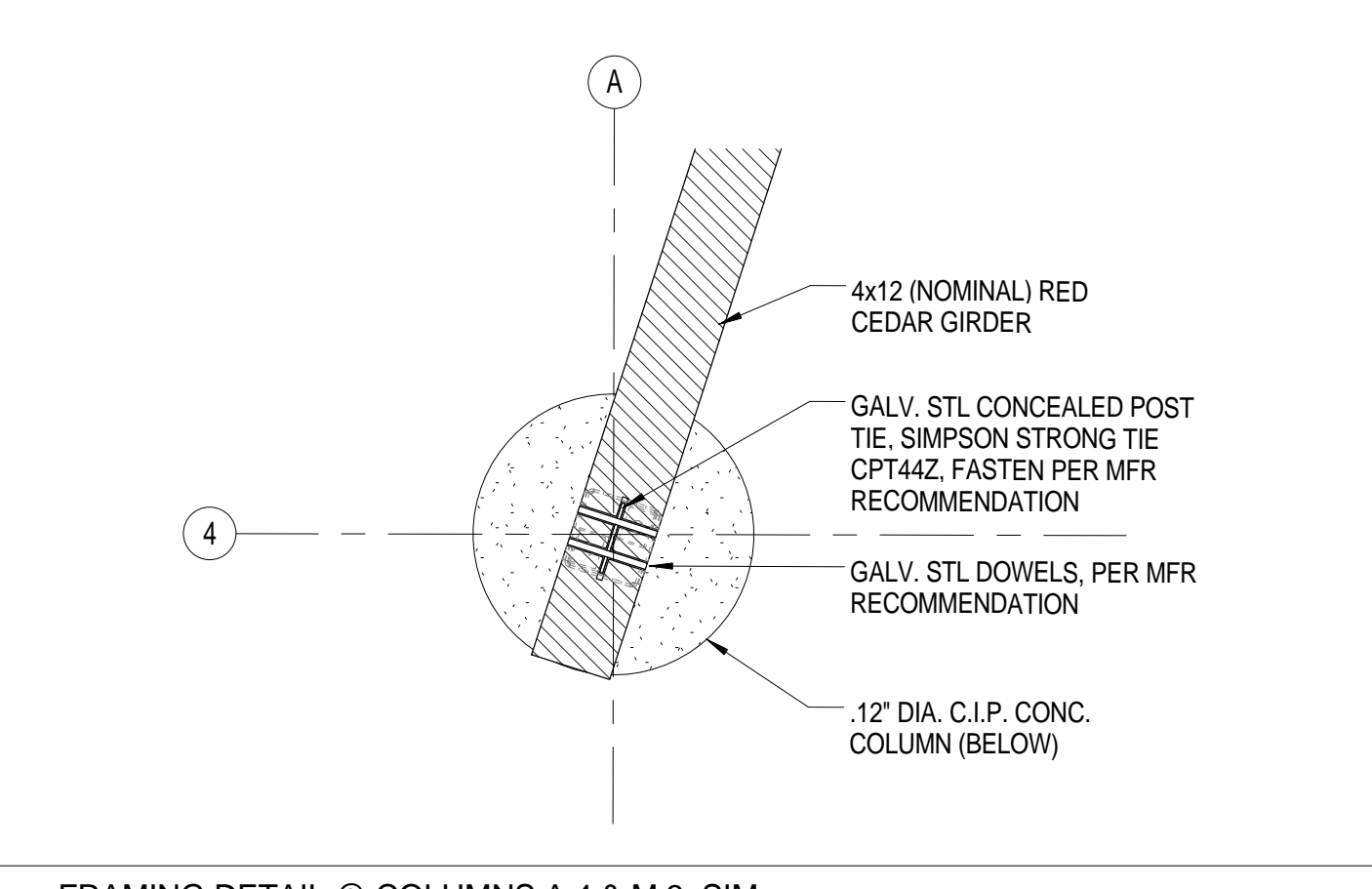
4 ELEVATION DETAIL 2 @ COLUMNS A & M, SIM.
1 1/2" = 1'-0"



3 ELEVATION DETAIL @ COLUMNS A & M, SIM.
1 1/2" = 1'-0"



2 PLAN DETAIL @ COLUMNS A.4 & M.3, SIM.
1 1/2" = 1'-0"



1 FRAMING DETAIL @ COLUMNS A.4 & M.3, SIM.
1 1/2" = 1'-0"

GENERAL SPECIFICATIONS

- CONDITIONS OF THE CONTRACT AND DIVISION 1, GENERAL REQUIREMENTS APPLY TO WORK SHOWN ON THESE DRAWINGS. EXAMINE DRAWINGS AND OTHER SPECIFICATIONS FOR REQUIREMENTS THAT AFFECT WORK SHOWN ON THESE DRAWINGS.
- PROVIDE ITEMS REFERRED TO IN SINGULAR NUMBER IN CONTRACT DOCUMENTS IN QUANTITIES NECESSARY TO COMPLETE WORK.
- VISIT SITE AND EXAMINE CONDITIONS UNDER WHICH WORK MUST BE PERFORMED, REPORT ADVERSE CONDITIONS IN WRITING TO ENGINEER. COMMENCEMENT OF WORK SHALL BE CONSTRUED AS COMPLETE ACCEPTANCE OF EXISTING CONDITIONS INCLUDING PREPARATORY WORK DONE BY OTHERS.
- PERFORM WORK AND PROVIDE MATERIALS AND EQUIPMENT AS SHOWN ON DRAWINGS. COORDINATE ELECTRICAL WORK WITH WORK SHOWN ON THESE DRAWINGS.
- GIVE NOTICES, FILE PLANS, OBTAIN PERMITS AND LICENSES, PAY FEES AND BACK CHARGES, AND OBTAIN NECESSARY APPROVALS FROM AUTHORITIES THAT HAVE JURISDICTION.
- PERFORM WORK AS REQUIRED BY CODES, REGULATIONS AND LAWS OF LOCAL, STATE AND FEDERAL GOVERNMENTS AND OTHER AUTHORITIES WITH LAWFUL JURISDICTION.
- MATERIAL AND EQUIPMENT SHALL BE UL, NEMA, ANSI, IEEE, ADA & CBM APPROVED FOR INTENDED SERVICE. MATERIAL AND INSTALLATION SHALL MEET REQUIREMENTS OF NATIONAL AND STATE ELECTRICAL CODE.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS.
- UTILIZE EXITING MOLDED CASE CIRCUIT BREAKERS. MINIMUM INTERRUPTING CAPACITY SHALL BE 10,000 AMPS SYMMETRICAL AT 208 VOLTS.
- ADDRESS QUESTIONS REGARDING DRAWINGS TO ARCHITECT IN WRITING BEFORE AWARD OF CONTRACT. OTHERWISE, ARCHITECT INTERPRETATION OF MEANING AND INTENT OF DRAWINGS SHALL BE FINAL.
- SUBMIT SHOP DRAWINGS AND PRODUCT DATA WITHIN TEN (10) DAYS AFTER AWARD OF CONTRACT. CHECK, STAMP AND MARK WITH PROJECT NAMES SUBMITTALS BEFORE TRANSMITTING TO ENGINEER. INDICATE DEVIATIONS FROM CONTRACT DOCUMENTS. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL EQUIPMENT SHOWN ON THE DRAWINGS. PROVIDE SHOP DRAWINGS ON LIGHTING, CIRCUIT BREAKERS, CONDUIT, WIRING DEVICES, TIME CLOCK, PHOTOCELL, CABLE AND CONDUCTORS.
- SCHEDULE AT LEAST FIVE (5) WORKING DAYS, EXCLUSIVE ON TRANSMITTAL TIME FOR SUBMITTAL REVIEW.
- ALL WIRING SHALL BE RUN CONCEALED UNLESS SPECIFIED OTHERWISE.
- CONTRACTOR SHALL REVIEW ALL TRADES' CONTRACT DOCUMENTS TO DETERMINE SPECIFIC MOUNTING LOCATIONS FOR ELECTRICAL EQUIPMENT. COORDINATE EXACT MOUNTING LOCATIONS WITH THE ENGINEER.
- BRANCH CIRCUIT WIRING MAY NOT BE SHOWN GRAPHICALLY ON DRAWINGS AND MAY BE INDICATED BY CIRCUIT NUMBERS BESIDE FIXTURES, DEVICES AND EQUIPMENT. PROVIDE COMPLETE WIRING SYSTEM WHETHER OR NOT INDICATED GRAPHICALLY.
- ALL NEW WIRING SHALL BE TYPE THHN/THWN RATED 75-90°C, 600V. WET-DRY LOCATIONS. MINIMUM BRANCH CIRCUIT WIRING SHALL BE NO. 10 AWG SOLID COPPER.
- EXTERIOR WIRING SHALL BE IN GALVANIZED RIGID METALLIC CONDUIT AND PVC SCHEDULE 40.
- ALL GROUNDING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AS AMENDED BY THE STATE OF MASSACHUSETTS.
- PROVIDE TYPED IDENTIFICATION DIRECTORY IN LOADCENTER INDICATING CIRCUIT FUNCTION OR EQUIPMENT SERVED.
- ALL CONDUITS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATION AND METHOD OF SUPPORT SHALL BE DETERMINED IN THE FIELD, EXCEPT WHERE SPECIFIC DIMENSIONS AND DETAILS ARE SHOWN. ALL CONDUIT RUNS SHALL BE RIGIDLY SUPPORTED.
- NO CONDUIT SMALLER THAN 3/4 INCH ELECTRICAL TRADE SIZE SHALL BE USED, UNLESS SPECIFICALLY CALLED FOR ON THE DRAWINGS.
- PERFORM WORK AND PROVIDE MATERIALS AND EQUIPMENT TO MAKE INSTALLATION COMPLETE IN EVERY DETAIL UNDER THIS CONTRACT WHETHER OR NOT SPECIFICALLY SHOWN ON DRAWINGS.
- CONDUCTORS AND CABLE SHALL BE MINIMUM #10 AWG, 600 VOLT, COPPER WITH TYPE THHN/THWN INSULATION. PROVIDE SEPARATE GREEN GROUND IN ALL BRANCH CIRCUITS. #10 AWG AND SMALLER SHALL BE SOLID. COLOR CODE CONDUCTORS BLACK, RED, BLUE, WITH WHITE NEUTRAL AND GREEN GROUND EXCEPT AS NOTED FOR 120 VOLT.

ABBREVIATIONS

A/AMP	AMPERE	IMC	INTERMEDIATE METALLIC CONDUIT
AC	ALTERNATING CURRENT	JB	JUNCTION BOX
AF	AMPERE FRAME	KVA	KILOVOLT-AMPERE
AFF	ABOVE FINISHED FLOOR	KW	KILOWATT
AFG	ABOVE FINISHED GRADE	LTG	LIGHTING
AIC	AMPERE INTERRUPTING CAPACITY	PWR	POWER
AL	ALUMINUM	MCS	MAIN CIRCUIT BREAKER
AT	AMPERE TRIP	MEC	MASSACHUSETTS ELECTRICAL CODE
ATS	AUTOMATIC TRANSFER SWITCH	MLO	MAIN LUGS ONLY
AWG	AMERICAN WIRE GAUGE	MTG	MOUNTING
C	CONDUIT	MTD	MOUNTED
CKT	CIRCUIT	MCC	MOTOR CONTROL CENTER
CB	CIRCUIT BREAKER	NEC	NATIONAL ELECTRICAL CODE
CU	COPPER	NS	NON-SYSTEM
CL	CENTERLINE	NTS	NOT TO SCALE
DC	DIRECT CURRENT	No., #	NUMBER
DE	DUAL ELEMENT	PC	PLUMBING CONTRACTOR
DWG	DRAWING	RPM	REVOLUTIONS PER MINUTE
EC	ELECTRICAL CONTRACTOR	RMS	ROOT MEAN SQUARE VALUE
EMH	ELECTRICAL MANHOLE	RGS	RIGID STEEL CONDUIT
EW	ELECTRIC WATER COOLER	SF	SQUARE FOOT
EMT	ELECTRIC METALLIC CONDUIT	SN	SOLID NEUTRAL
FLMT	FLEXIBLE LIQUID TIGHT METALLIC TUBING	SWBD	SWITCHBOARD
GC	GENERAL CONTRACTOR	TYP	TYPICAL
GND	GROUND	V	VOLTS
GFI	GROUND FAULT INTERRUPTING	VA	VOLT-AMPERE
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	VFD	VARIABLE FREQUENCY DRIVE
HP	HORSEPOWER	WP	WEATHERPROOF

BRANCH CIRCUIT AND FEEDER SYMBOLS

- BRANCH CIRCUIT OR FEEDER CONCEALED UNLESS OTHERWISE NOTED
- BRANCH CIRCUIT DIAGONAL LINES INDICATE NUMBER OR CONDUCTORS, NO DIAGONAL LINES INDICATES TWO (2) CONDUCTORS (1 PHASE AND 1 NEUTRAL). GROUND WIRE(S) NOT INDICATED. MINIMUM SIZE CONDUCTOR #12 AWG AND 3/4" CONDUIT, UNLESS OTHERWISE NOTED
- 4#1,1#6G-1 1/2" INDICATES (3) #1 AWG(PHASE), (1)#1 AWG(NEUTRAL), (1) #6 GROUND IN A 1-1/2" CONDUIT
- PP1-1 20A/1P HOMERUN TO PANELBOARD "P1" CIRCUIT NUMBER 1, DIAGONAL LINES INDICATE (1) PHASE AND (1) NEUTRAL CONDUCTOR. (1) GROUNDING CONDUCTOR UNDERSTOOD.
- PP1-1,3 (2)20A/1P HOMERUN TO PANELBOARD "P1" CIRCUIT NUMBER 1 & 3, DIAGONAL LINES INDICATE (2) PHASE AND (2) NEUTRAL CONDUCTOR. (2) GROUNDING CONDUCTOR UNDERSTOOD.

LIGHTING FIXTURE SYMBOLS

VANDAL RESISTANT BOLLARD LIGHT FIXTURE, "B" DENOTES LIGHTING FIXTURE TYPE, "4" DENOTES CIRCUIT NUMBER. SEE DETAIL 1, THIS DRAWING.

RECEPTACLES AND OUTLETS

DUPLEX GROUND FAULT INTERRUPTING RECEPTACLE, RATED 20A 125V TYPE. "5" DENOTES CIRCUIT NUMBER, MOUNTING HEIGHT 18" TO CENTERLINE AFF

LOADCENTER AND CONTROLS

POWER LOADCENTER, SURFACE MOUNTED, 120/208 VOLT

EQUIPMENT CONTROL PANEL

SITE SYMBOLS

UNDERGROUND CONDUIT OR DUCTBANK

SECTION "A-A"

MISCELLANEOUS

UTILITY METER

TIME CLOCK. SEE DETAIL 2, THIS DRAWING.

PHOTOCELL. SEE DETAIL 2, THIS DRAWING.

GENERAL NOTES

- Existing conditions and topography data are from surveys prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014.
- Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractors expense.
- Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
- Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
- Contractor to secure site with fence at end of each day's operations.



PROJECT:
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision

CONSULTANTS:

mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St. 6th Floor
Boston, MA 02210

617.338.8400
www.michellecrowley-la.com

STAMP:

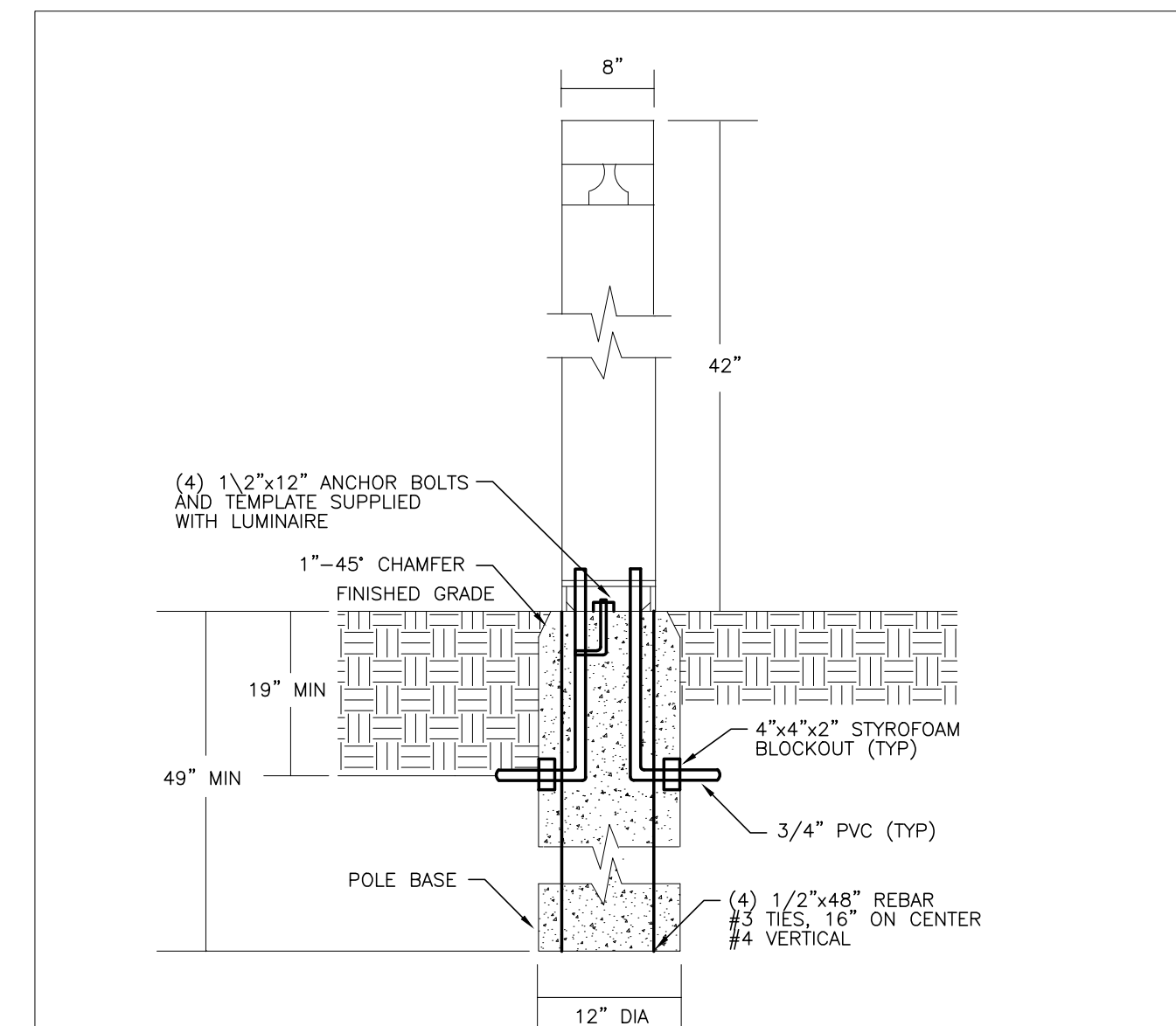


DATE:
JULY 20, 2016

PROJECT NUMBER:
1405.1

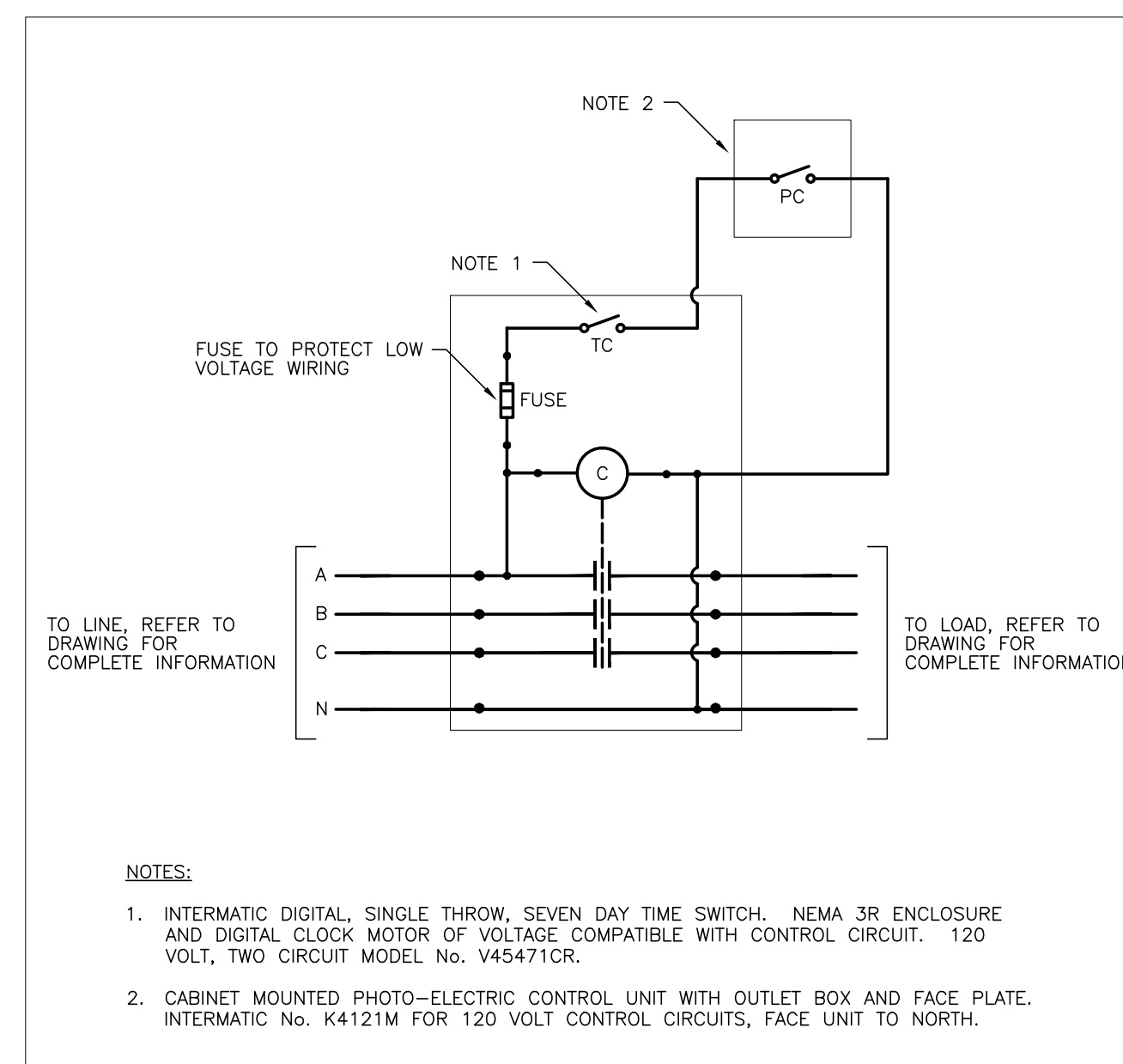
DRAWING TITLE:
**ELECTRICAL
SPECIFICATIONS
SYMBOLS AND
DETAILS**

E0.1



1 BOLLARD INSTALLATION DETAIL

N.T.S.

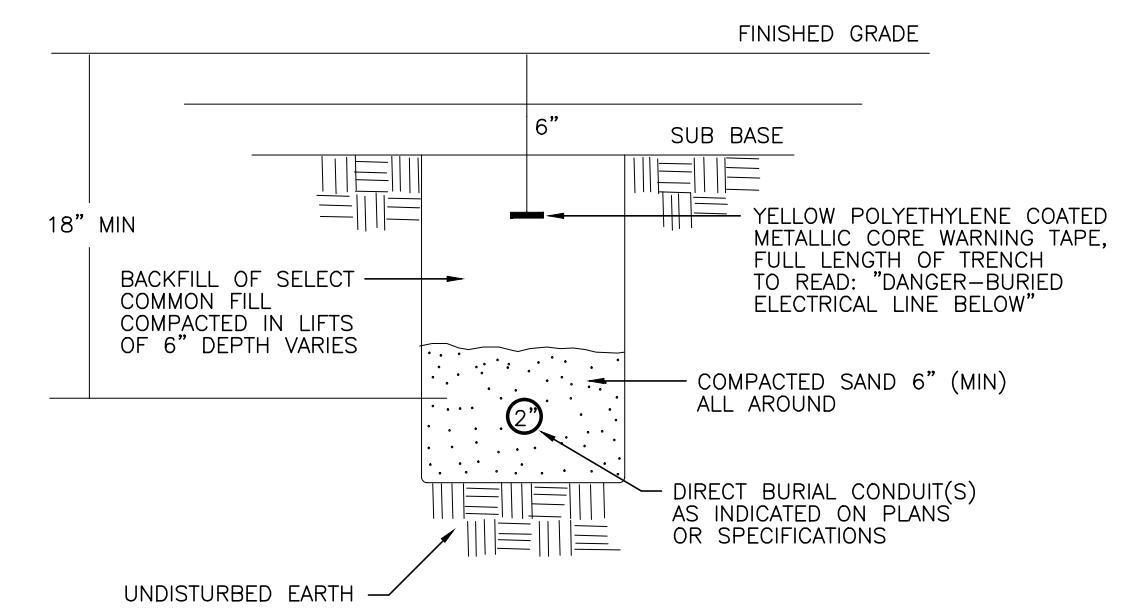


2 TIME SWITCH PHOTOCELL CONTROLLED CONTACTOR DETAIL

N.T.S.

3 DIRECT BURIAL CONDUIT DETAIL

N.T.S.





GENERAL NOTES

- Existing conditions and topography data are from surveys prepared by North Shore Survey Corporation, 14 Brown St, Salem, MA, June 6, 2014.
- Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractors expense.
- Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
- Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.
- Contractor to secure site with fence at end of each day's operations.

PROJECT:
MARY JANE LEE PARK
PHASE II

Palmer St
Salem, MA 01970

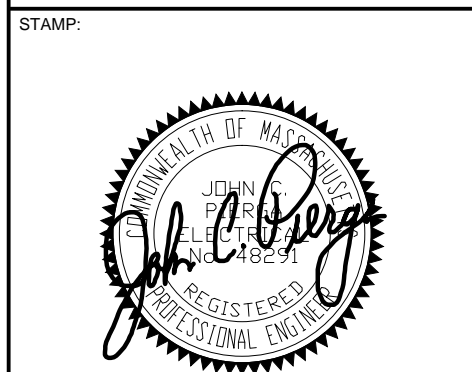
BID SET

BID SET NOT FOR CONSTRUCTION

No. Date Revision
CONSULTANTS:

mcla
Michelle Crowley Landscape
Architecture, LLC
281 Summer St, 6th Floor
Boston, MA 02210

617.338.8400
www.michellecrowley-la.com



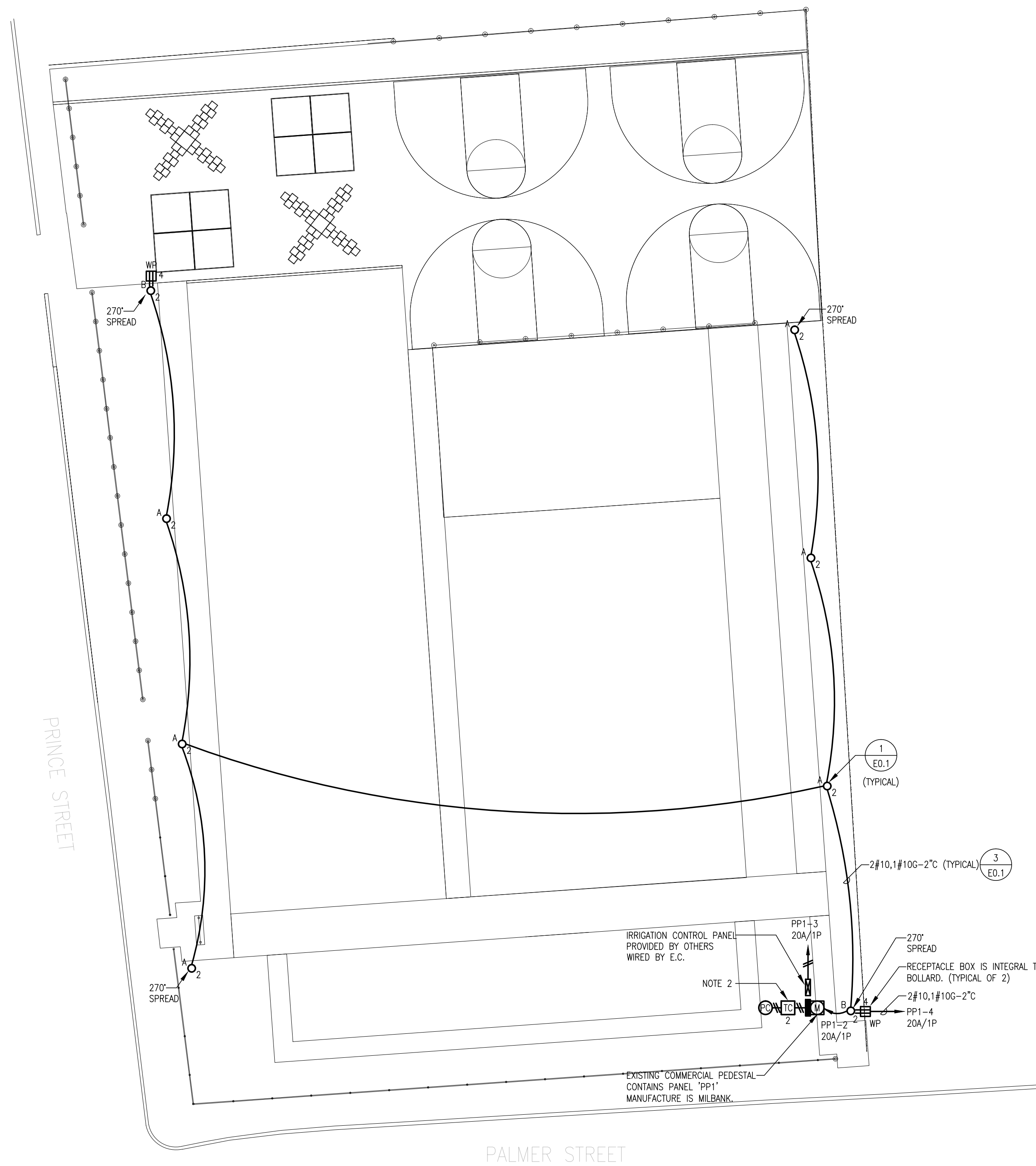
DATE:
JULY 20, 2016

PROJECT NUMBER:
1405.1

SCALE:
DRAWING TITLE:

**ELECTRICAL
SITE PLAN**

E1.0



LIGHTING FIXTURE SCHEDULE

FIXTURE TYPE	DESCRIPTION	MANUFACTURER AND CATALOG NUMBER	LAMPS			VOLTAGE
			No.	WATTAGE	TYPE	
A	VANDAL RESISTANT ROUND BOLLARD, BLACK	KIM LIGHTING # VRB3/LED 15L3KUV-BL		19	LED	120
B	VANDAL RESISTANT ROUND BOLLARD, BLACK, GROUND FAULT RECEPTACLE	KIM LIGHTING # VRB3/LED 15L3KUV/BL/DR-GFI		19	LED	120

NOTES:

- PROVIDE (4) BOLLARDS WITH 270" SPREAD; ALL OTHERS SHALL BE TYPE 3, 180" SPREAD.
- EC SHALL PROVIDE TIME CLOCK, CONNECT TO CIRCUIT NO. 2. MOUNT TO SIDE OF PANEL PP1. PROVIDE NECESSARY KNOCK OUT ON SIDE OF PANEL. 2#12, 1#12G-1/2" NIPPLE TO POWER THE TIME CLOCK AND PHOTOCELL.

EXISTING PANEL 'PP1', 60 AMP, 120/240 VOLT, 1 Ø, 3 WIRE AND GROUND

INTERRUPTING CAPACITY: 10,000 AMPS RMS SYM MAIN: 60A MCB MOUNTING: NEMA 3R ENCLOSURE

LOAD DESCRIPTION	KVA LOAD		CIRC NO.	PH	CIRC NO.	CIRC PHASE	KVA LOAD		LOAD DESCRIPTION
	A	B					A	B	
EXISTING SPLASH PAD CONTROL			20	1	A	2	20	0.15	SITE LIGHTING / TIME CLOCK
IRRIGATION CONTROLS			20	3	B	4	20		RECEPTACLES
SPACE				5	A	6			SPACE
SUBTOTALS							0.15	0.00	

PHASE A 0.15 KVA TOTAL LOAD 0.15 KVA
PHASE B 0.00 KVA

SECTION 1

* CONTRACTOR SHALL USE EXISTING BREAKER TO FEED LOAD AS INDICATED