

Crawl Space Plan
 First Floor Plan
 Roof Plan

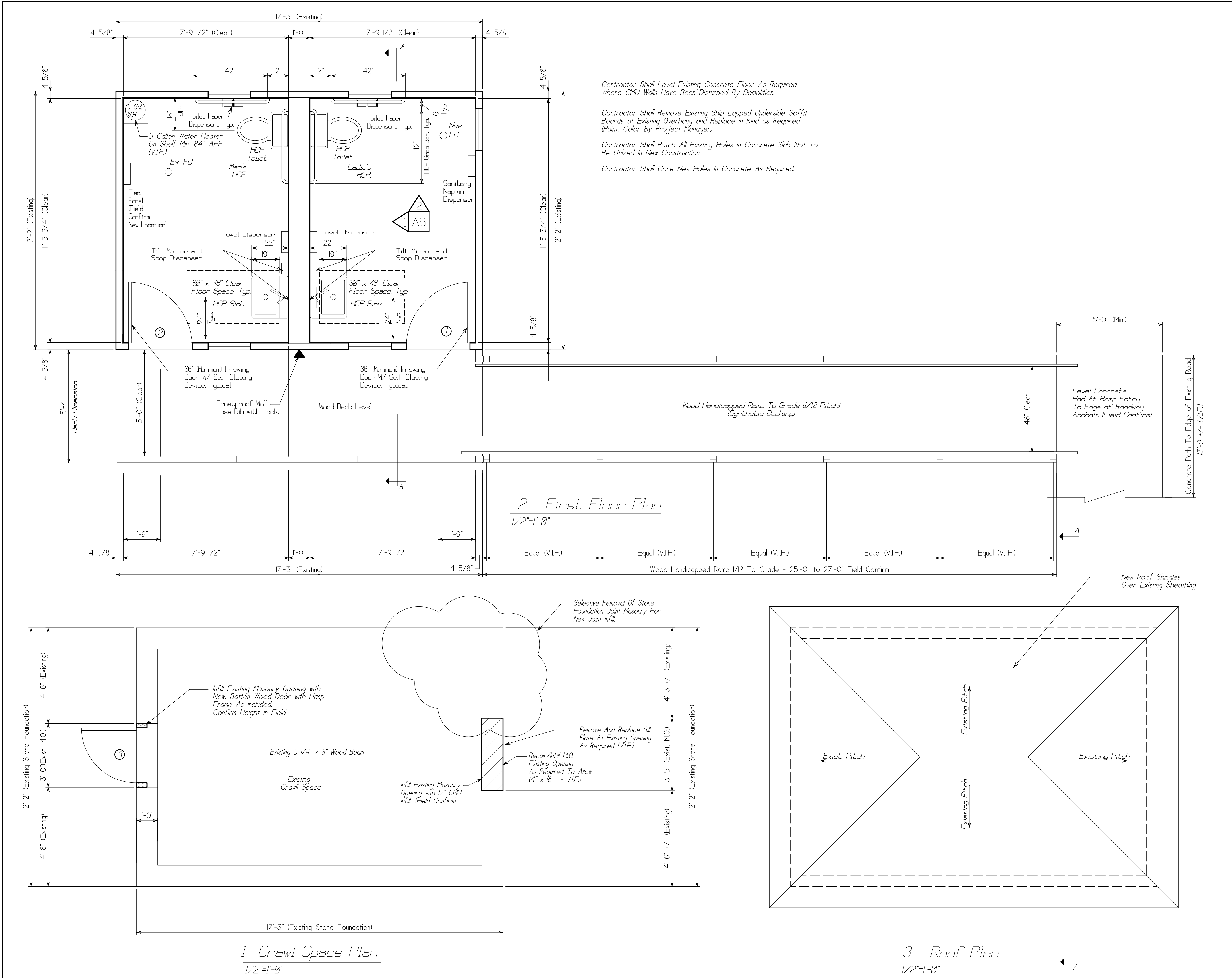
Mack Park Restrooms
 City of Salem
 31 Grove Street
 Salem, Massachusetts

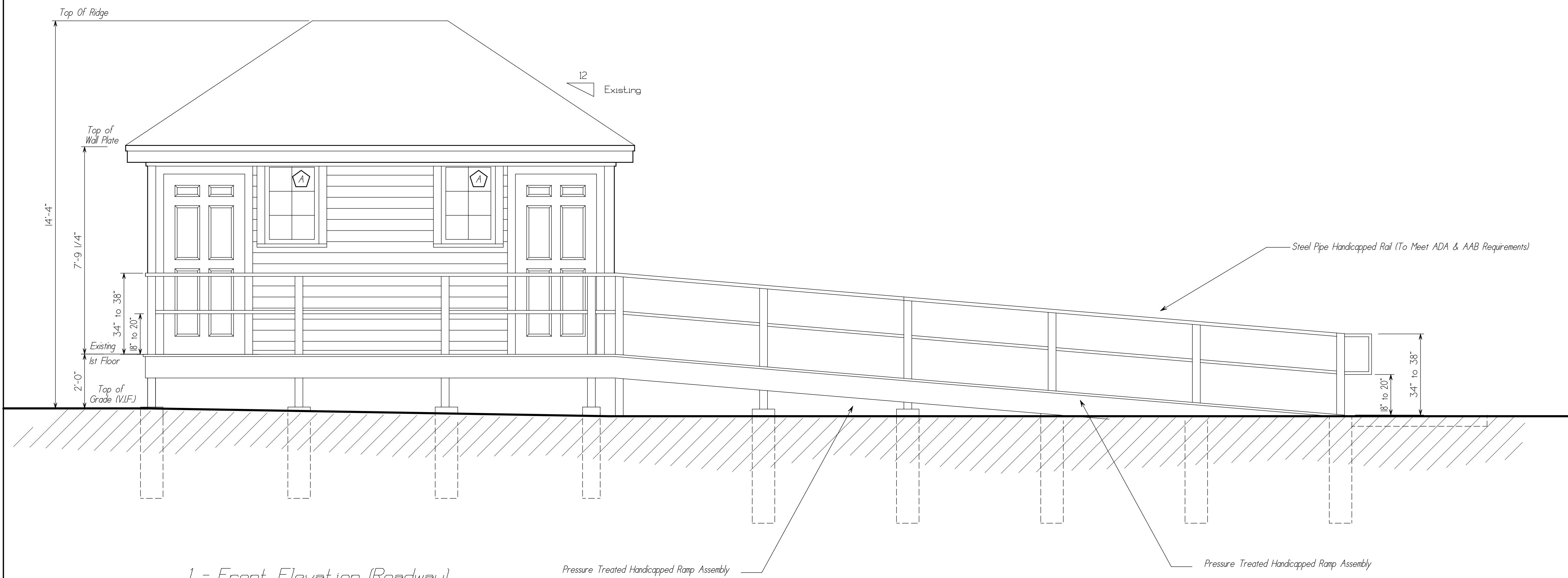
Scale:
 As Noted

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 September 4, 2015
 May 19, 2017
 May 24, 2017

Drawing Number:

A1



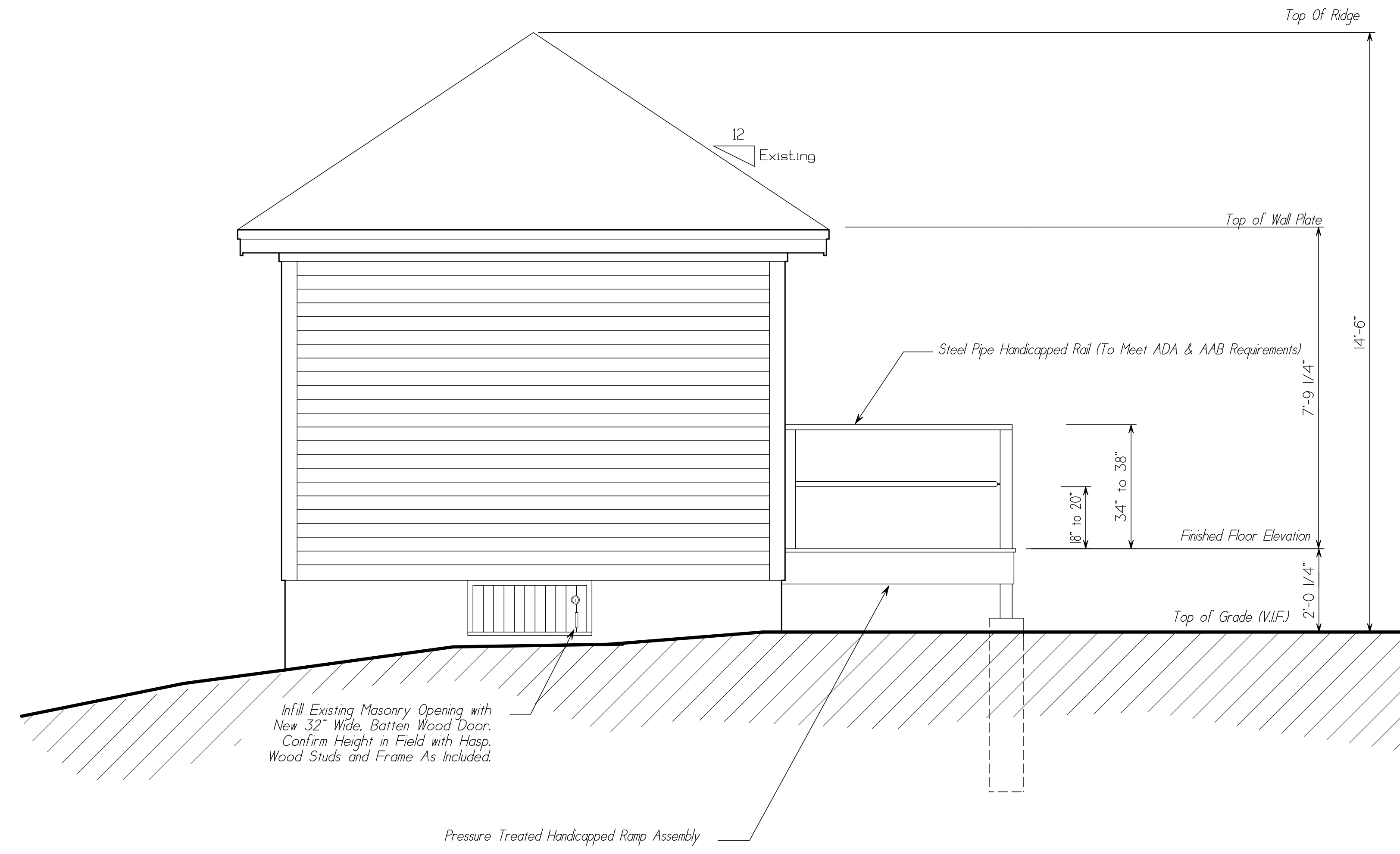


1 - Front Elevation (Roadway)
1/2"=1'-0"

Material Specifications

- Material Specifications-**
- Exterior Siding- 1/2" x 6" Primed Clapboards (4" t.w.) (Paint Color By Owner - Project Manager).
 - Building Wrap- "Tygar" HouseWrap (Or Equal)
 - Corner Boards- "Azex" Building Products, 1" x 5" Preformed PVC (Or Equal)
 - Skirt Board- Not Applicable
 - Window Trim - (Sides and Sill) "Azex" Building Products, 1" x 4" Preformed PVC (Or Equal)
 - Window Head Trim- "Azex" Building Products, 1" x 4" Preformed PVC. (Or Equal)
 - "Information", Signage - Not Applicable
 - Fascia, Soffit, Misc. Trim- "Azek" Building Products, PVC Preformed PVC Trim Boards. Field Confirm Sizes and Dimensions.
 - Circle Medallion - 30" Diameter Cut From "Azek" Building Products, 5/8" PVC Sheet.

- Roof Material Specifications- (Also Refer To Sheet A2)**
- Roofing Shingles - 30 Year (Min.) Asphalt Roof Shingles - (Color - Weatherwood)
 - Ice and Water Shield- "Johns Mansville", or Equal
 - Flashing- Aluminum Sheets



2 - Left Elevation
1/2"=1'-0"

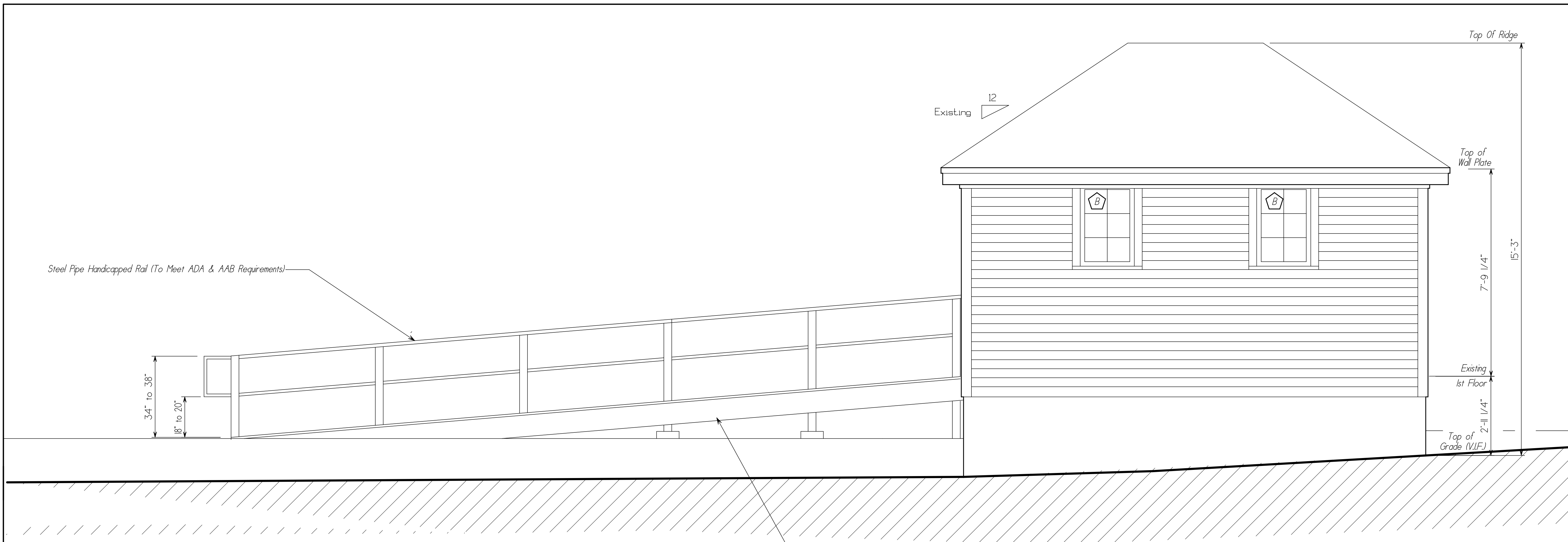
Front Elevation (Roadway)
Left Elevation
Material Specifications

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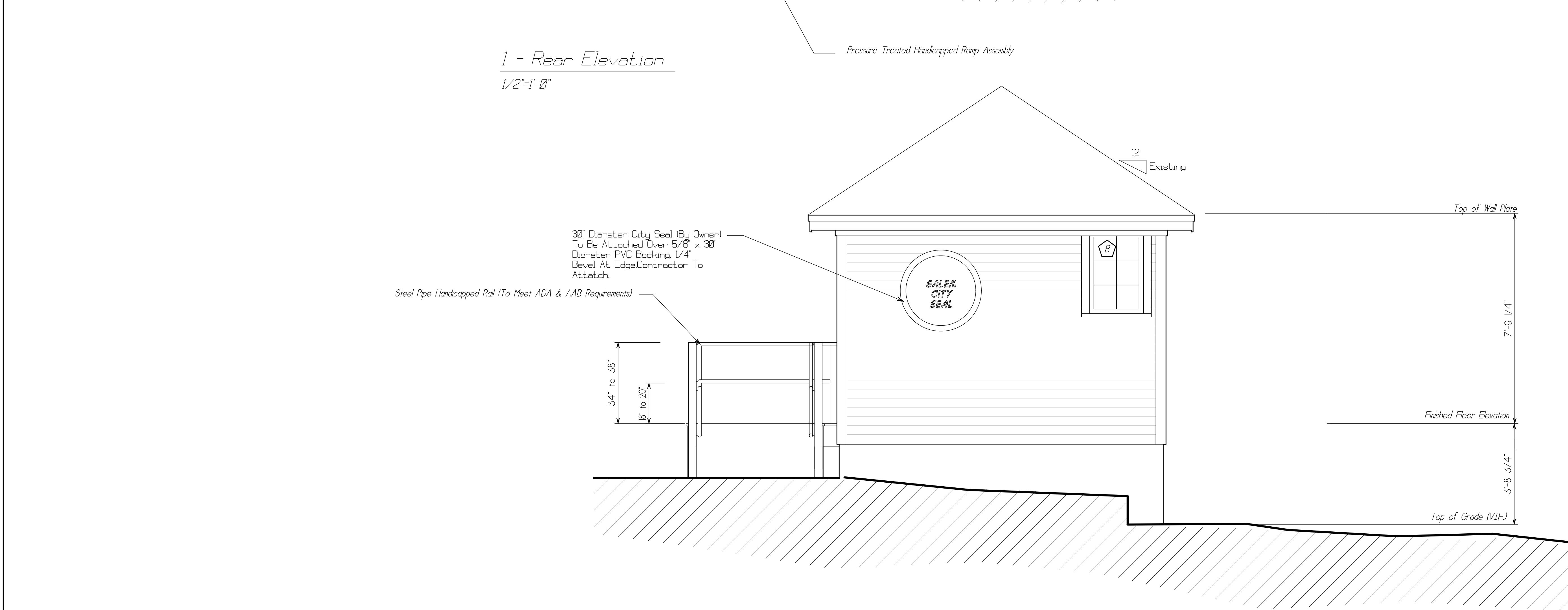
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A2



1 - Rear Elevation
1/2"=1'-0"



2 - Left Elevation
1/2"=1'-0"

Rear Elevation
Right Elevation

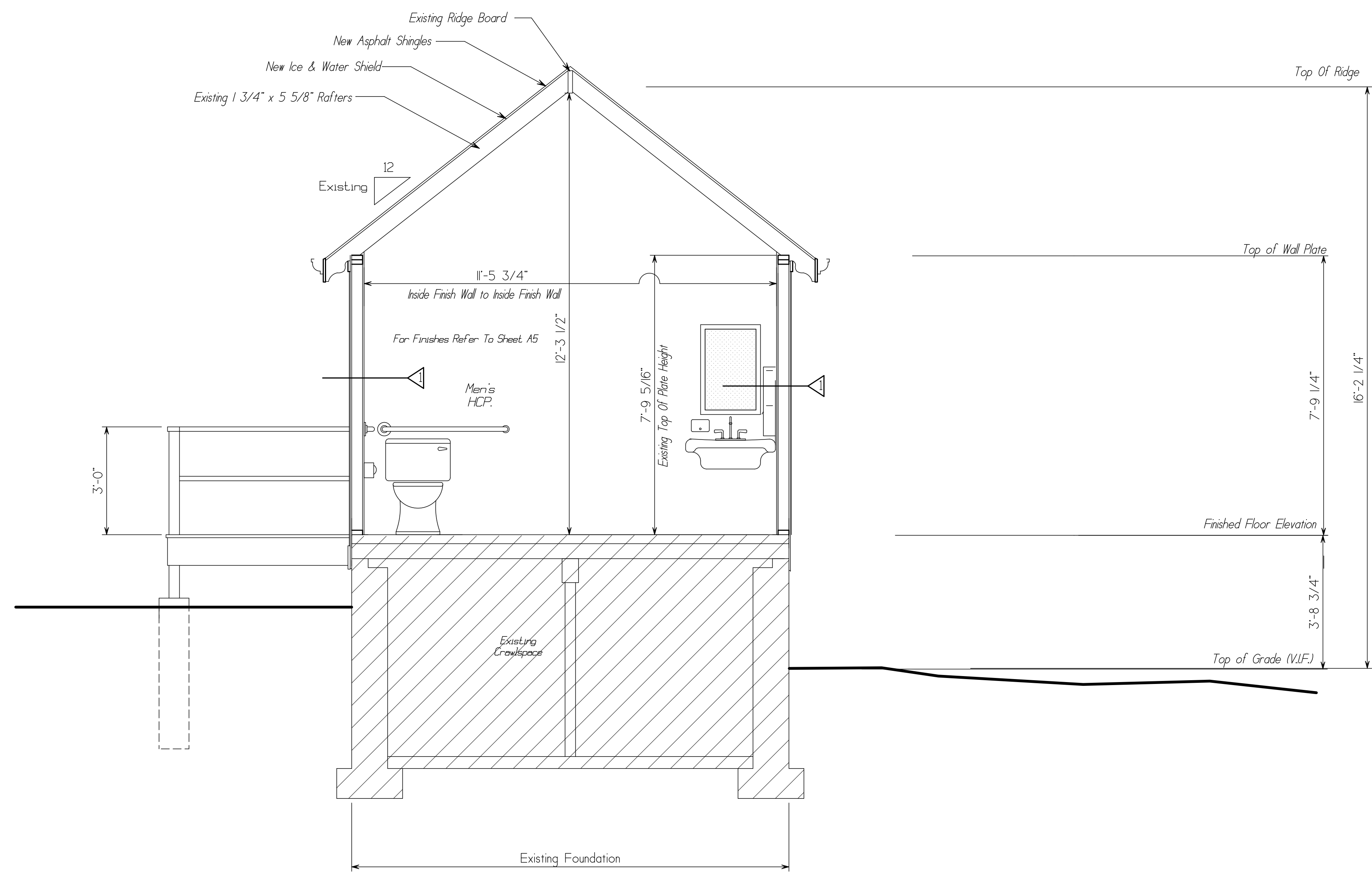
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A3



1 - Section A ——— A
 1/2"=1'-0"

Section A ——— A

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- All materials and construction shall conform to the BOCA Building Code (780 CMR), And All Other Local Regulations & Ordinances.
- The Contractor shall secure all required permits prior to proceeding with the work.
- The Contractor shall field verify all dimensions prior to proceeding with the work.
- The Contractor shall notify the Architect of any and all field conditions that vary from those that are shown on the drawings.
- The Contractor shall secure the Architect's approval on any material substitutions or changes in the work.
- The Contractor shall furnish and install tempered glass where required by the Code.
- All interior and exterior finishes & trim shall be approved by the Owner.
- All wood blocking shall be fire treated

General Notes, nts

NOTES

All work shall conform to the latest Commonwealth of Massachusetts State Building Code.

All foundations shall rest on solid bearing (min. capacity = 2T/sf). Where resting on fill, such fill's material & compaction method shall be as approved in writing by the Engineer. Notify the engineer if lesser capacity material is encountered before proceeding with the work.

All concrete work shall conform to the latest ACI Building Code Requirements for Structural Concrete (ACI 318) and the Commonwealth of Massachusetts State Building Code. In case of conflict, the State Building Code shall govern. no concrete shall be placed on frozen ground or placed when the temperature is below 40 degrees Fahrenheit without written permission from the Engineer.

Concrete shall have a minimum compressive strength of 3000 psi @ 28 days. Grout under column base plates and under other bearing plates shall be non-shrink, non-metallic grout with a minimum compressive strength of 5000 psi @ 3 days. Stairs & walkways concrete shall be air entrainment (5-7% content).

The building walls retaining earth have been designed based on lateral support from the completed floor slab(s) and framing.

Interior slabs shall have a steel trowel finish unless otherwise noted. Exterior slabs shall have a rough finish unless otherwise noted.

Rebars shall conform to ASTM 615 & 305. Fy - 60,000 psi. Welded wire fabric shall conform to ASTM 185.

All carpentry work shall conform to the latest NLMMA standards using Fb - 1,000 psi & E - 11 x 10⁶ psi for dimension lumber Fb - 2,600 psi (12" deep beams) & E - 1.9 x 10⁶ psi for LVL's

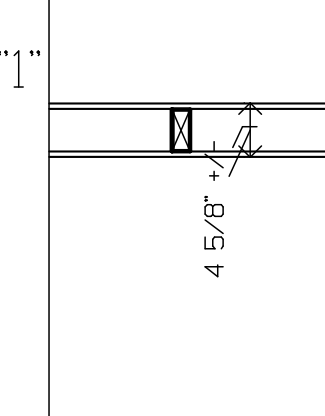
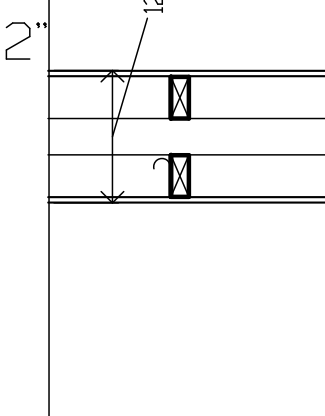
Cooperate with all other trades & refer to Architectural, Mechanical & Electrical drawings for the installation of sleeves, inserts, chases etc.

The contractor shall verify all existing conditions and dimensions in the field and shall notify the Engineer of any discrepancy before proceeding with the work.

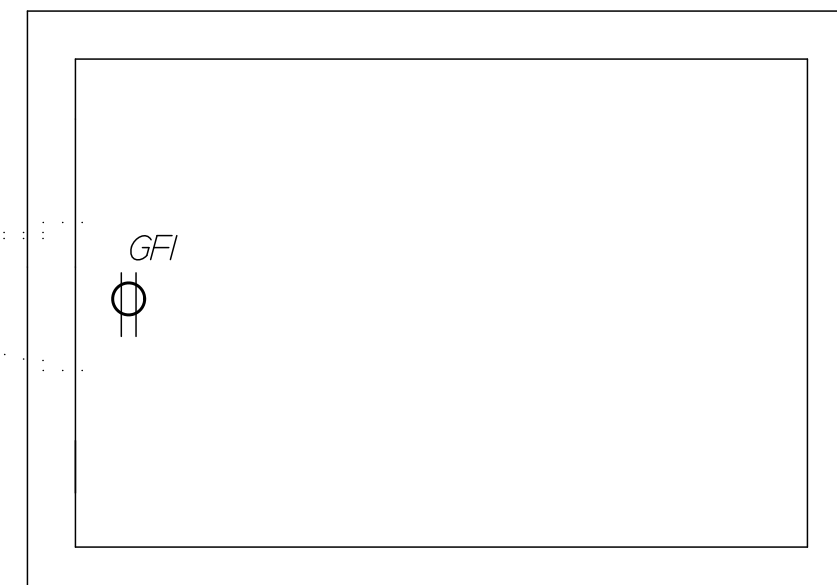
The Contractor shall provide all necessary shoring & bracing until all structural work is complete.

Structural Notes

Partition Schedule

Materials	Description	Remarks
1	 1/2" x 6" Primed Clap Boards (4" i.w.) (Color By Owner - Project Manager) Typar Building Paper Existing 1 1/2" x 3 5/8" Wood Studs 1/2" CDX Sheathing 4" x 8" - .090 FRP Wall Board	Exterior Wall @ Bathrooms
2	 4" x 8" - .090 FRP Wall Board 1/2" CDX Sheathing 2" x 4" wood Studs studs at 16" O.C. 2" x 4" wood Studs studs at 16" O.C. 1/2" CDX Sheathing 4" x 8" - .090 FRP Wall Board	Typical Wet Wall

Refer To Lighting Fixtures Schedule and Wiring Devices - Switches Schedule Sheet 1/A5 - Restroom Reflective Ceiling For Information.



2 Basement Reflective Ceiling Plan, 1/8"

Door Schedule

Door	Door		Frame		Jamb		Thres		Remarks
	Width	Height	Thk's	Mat'l	Style	Head	Mat'l	Style	
1	3'-0"	6'-8"	1 3/4"	Clad	6 Panel	PM	PM	HCP Alum	"Brosco", Steel 3/8 x 6/8 Door Unit, RH -In-Swing, Lever Hardware with Closer. (or Equal)
2	3'-0"	6'-8"	1 3/4"	Clad	6 Panel	PM	PM	HCP Alum	"Brosco", Steel 3/8 x 6/8 Door Unit, LH -In-Swing, Lever Hardware with Closer. (or Equal)

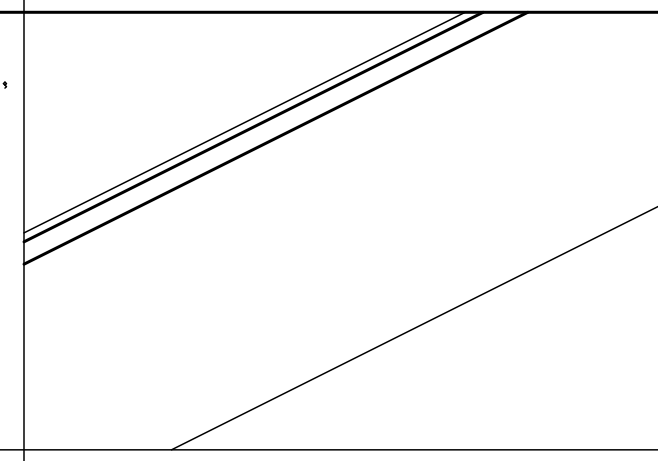
Window Schedule

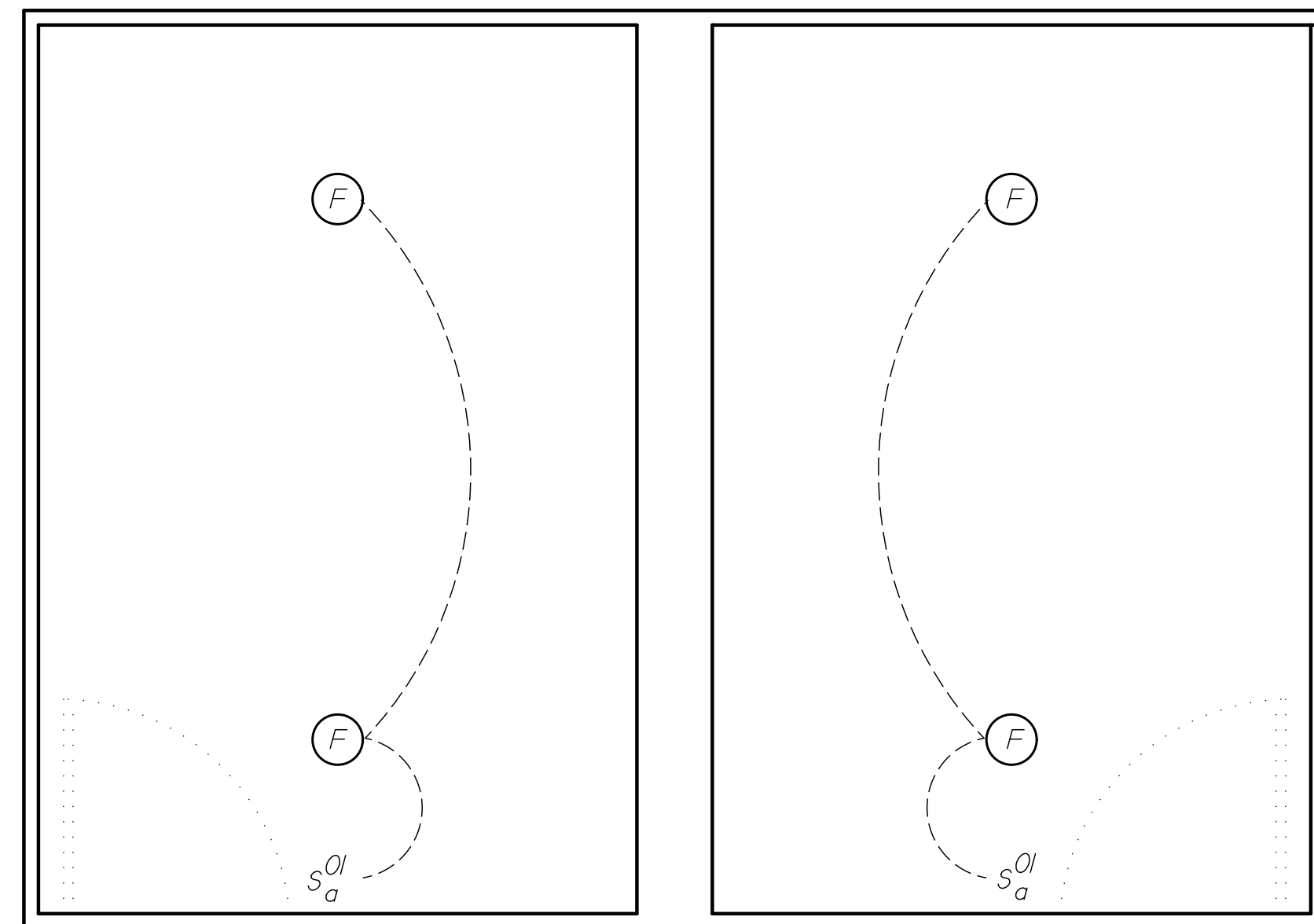
Window	RO	Width	Height	Glass Thickness	Style	Frame		Screens	Muntins	With Strip	Remarks
						Material	Style				
A		2'-0" (VIF)	3'-0" (VIF)	---	High Perf.	Vinyl	Fixed	No	Yes	Yes	"Harvey", 24 x 36, Replacement Fixed Window, w/ Grills, White with Frosted Glass (2 - Total)
B		2'-0" (VIF)	3'-0" (VIF)	---	High Perf.	Vinyl	Casement	Yes	Yes	Yes	"Harvey", 24 x 36, Replacement Casement Window, w/ Grills, White with Frosted Glass (3 - Total)

Room Finish Schedule

Room Name	Finishes				Remarks
	Floor	Walls	Ceiling	Base	
1 Men's HCP Lavatory	Existing Concrete	.090 FRP Wall Panel	Existing	4" Vinyl Cove	.090 FRP Wall Panel (White) over 1/2" Plywood Vinyl Base Gray in Color
2 Women's HCP Lavatory	Existing Concrete	.090 FRP Wall Panel	Existing	4" Vinyl Cove	.090 FRP Wall Panel (White) over 1/2" Plywood Vinyl Base Gray in Color

Floor/Ceiling Schedule

Materials	Description	Remarks
A	 Asphalt Shingles (Weather Wood) Ice & Water Shield Existing Roof Rafters	Roof Assembly



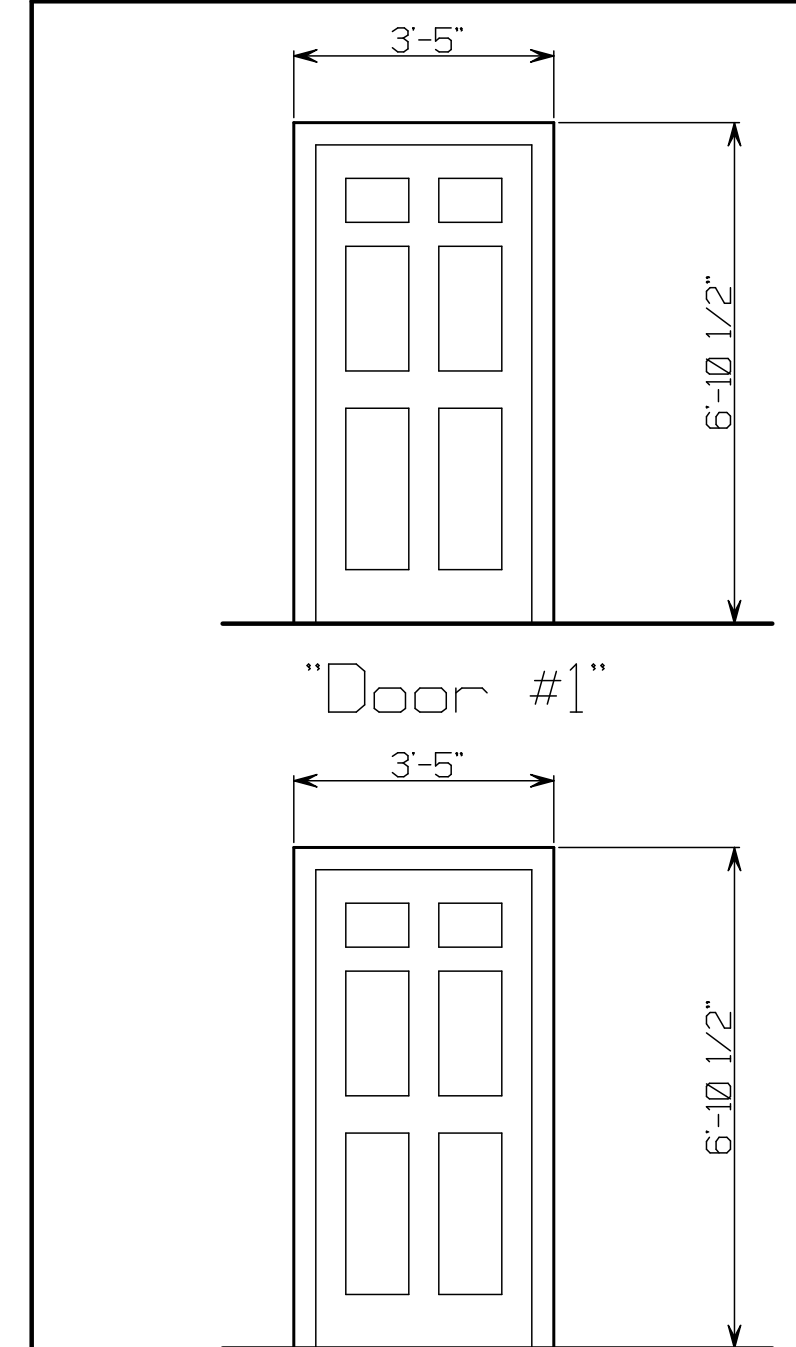
1 Restroom Reflective Ceiling Plan, 1/8"

Wiring Devices - Switches
 S_o Occupancy Sensor - Recessed/Wall Mounted
 OI- Indicates Single Circuit/Output For Single Switching Application

Lighting Fixtures
 F Rafter Mounted Downlight

Wiring Devices - Receptacles
 GFI Ceiling Mounted GFI Duplex Receptacle
 Grounding Type (NEMA 5-20R)

Dotted Line Denotes Perimeter Of Exterior Soffit



3 Door Elev., 3/8"

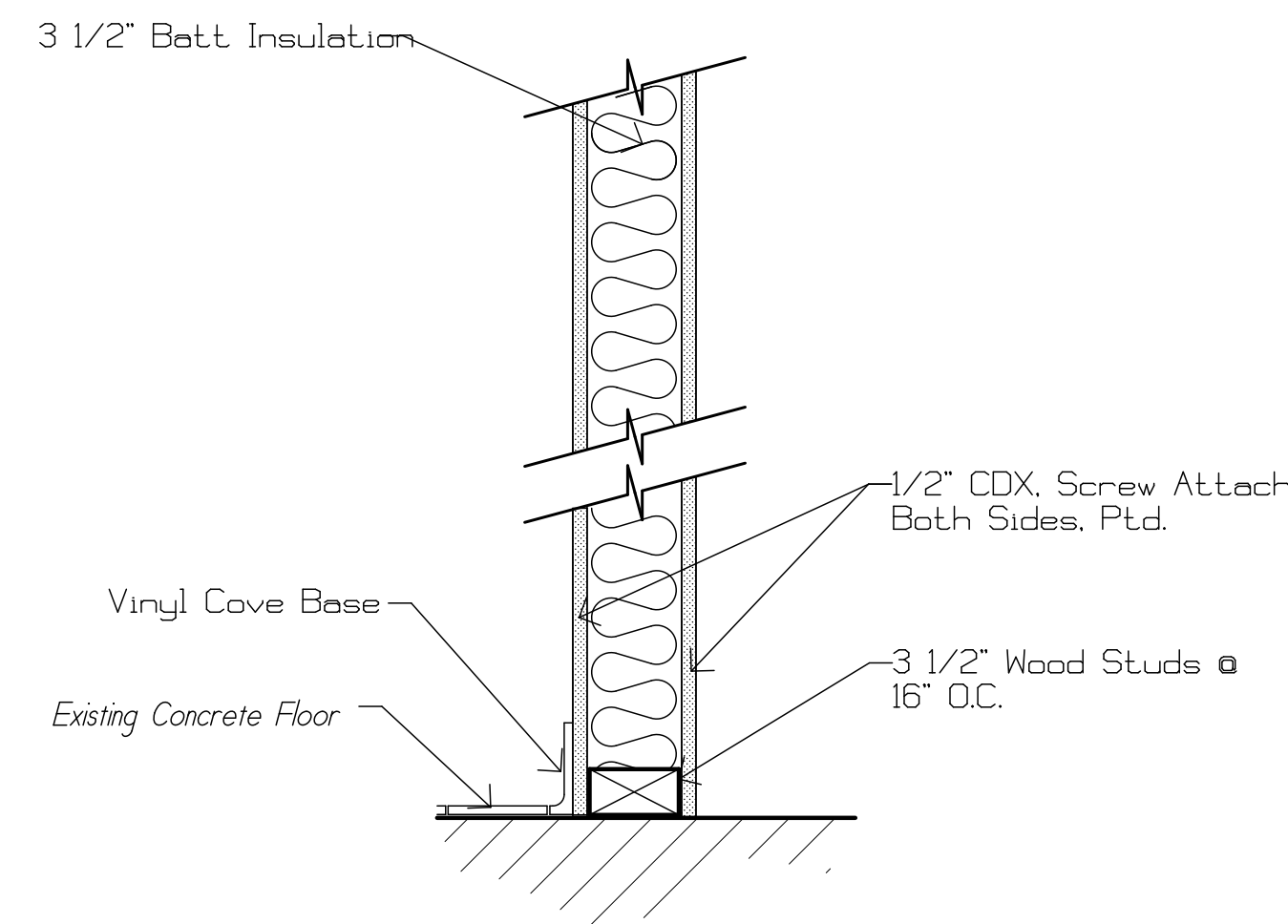
Door Schedule
 Window Schedule
 Finish Schedule
 Reflective Ceiling Plan
 Partition & Floor/Ceiling Schedule

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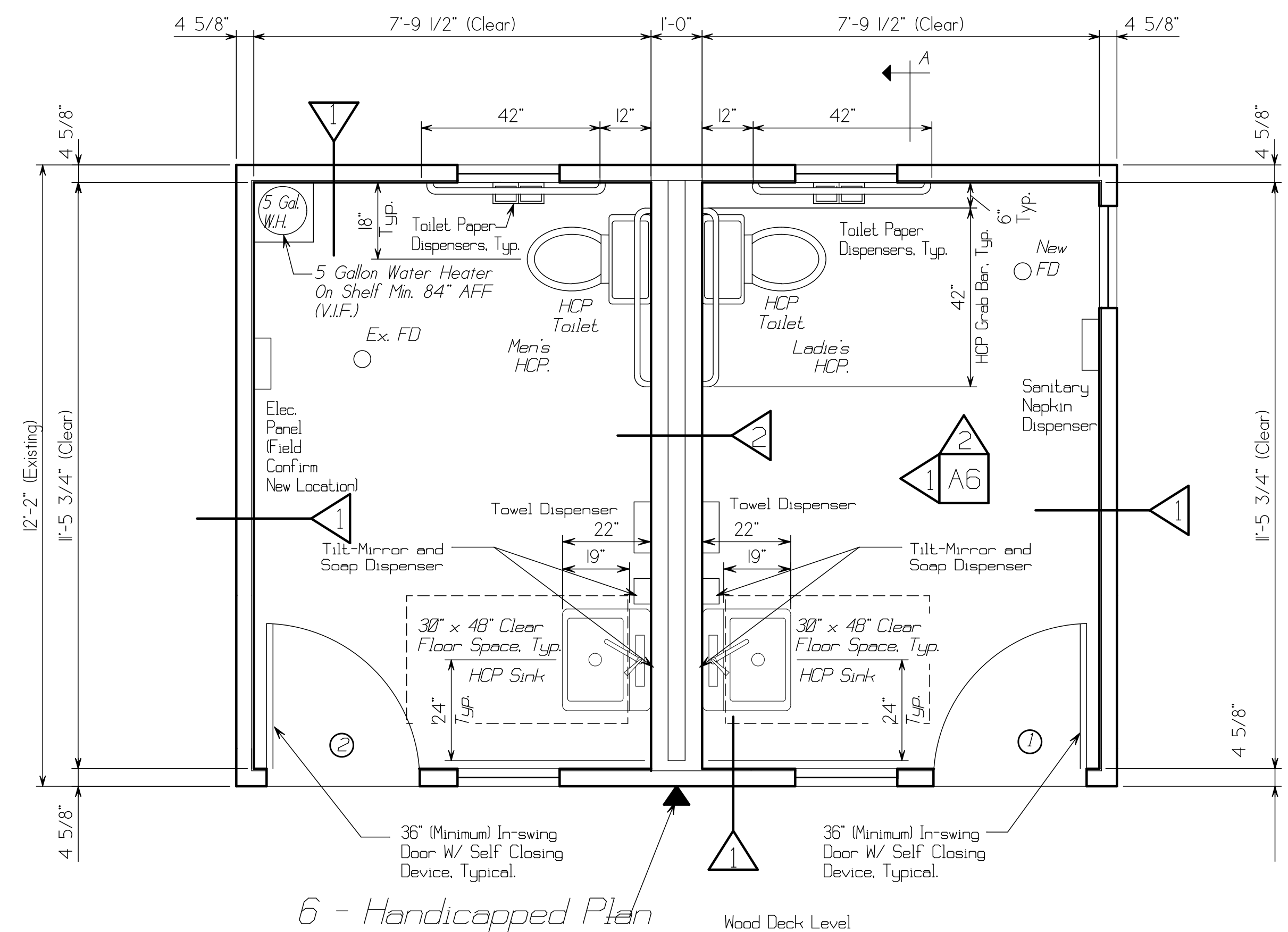
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4 - Handicapped Wall Base Detail
1 1/2"=1'-0"

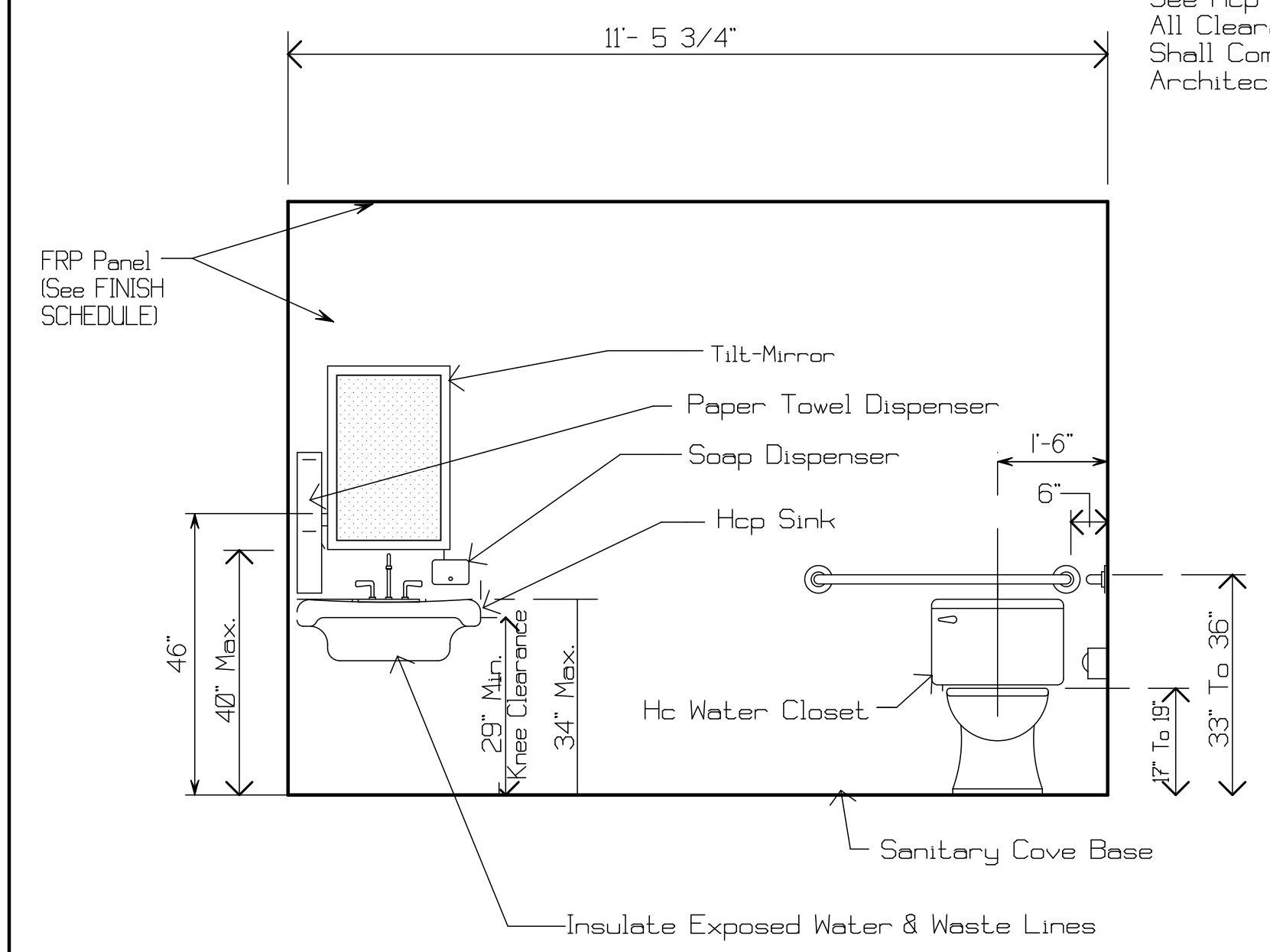


6 - Handicapped Plan
1/2"=1'-0"

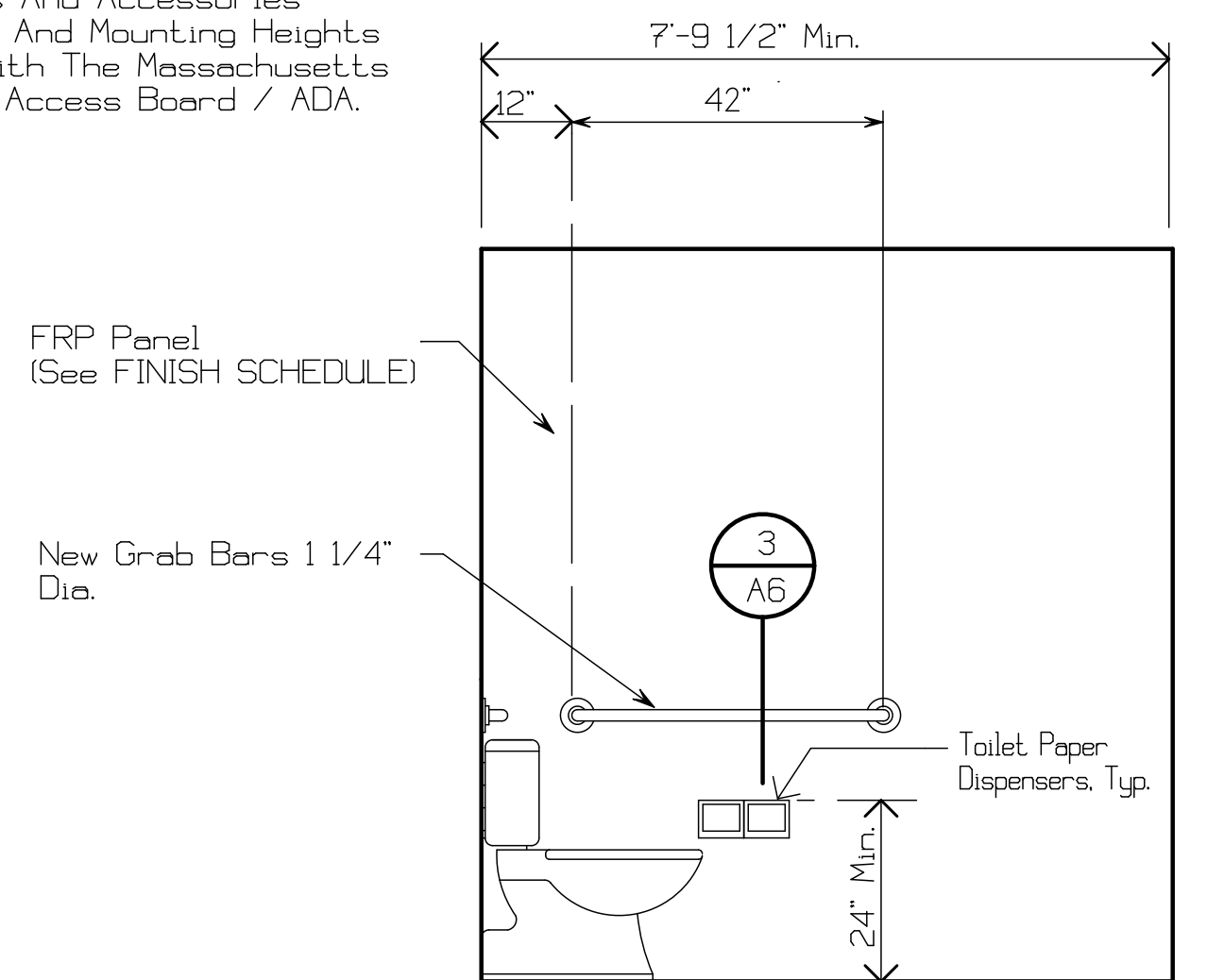
1. Sink
Max. 19" Underneath Sink
Mounted 34" High Max.
Extend 22" From Wall To Front Of Sink
Knee Clearance
Min. Of 29" A.F.F.
Knee To Toe Clearance. Min. Of 30"
& 19" Deep
2. hcp Faucets & Equipment
3. Water Closet (17" to 19" aff)
4. 2 42" Grab Bars. 1/1/4" Dia.
W/ 1 1/2" Knuckle Clearance
Side Grab Bar Max. 12" From Corner
Back Grab Bar Max. 6" From Corner
Height Of 33 To 36" A.F.F.
5. Vertical Mirrors- Bottom Edge Of
Reflective Surface No Higher than 40" A.F.F.
6. hcp Dispensers (42" aff. Maximum)
Paper Towels
Waste Dispenser
Sanitary Napkin Dispenser (Women Only)
Soap Dispenser
7. hcp Toilet Paper Dispenser (24" aff)

5 - Handicapped Accessories Notes
NTS

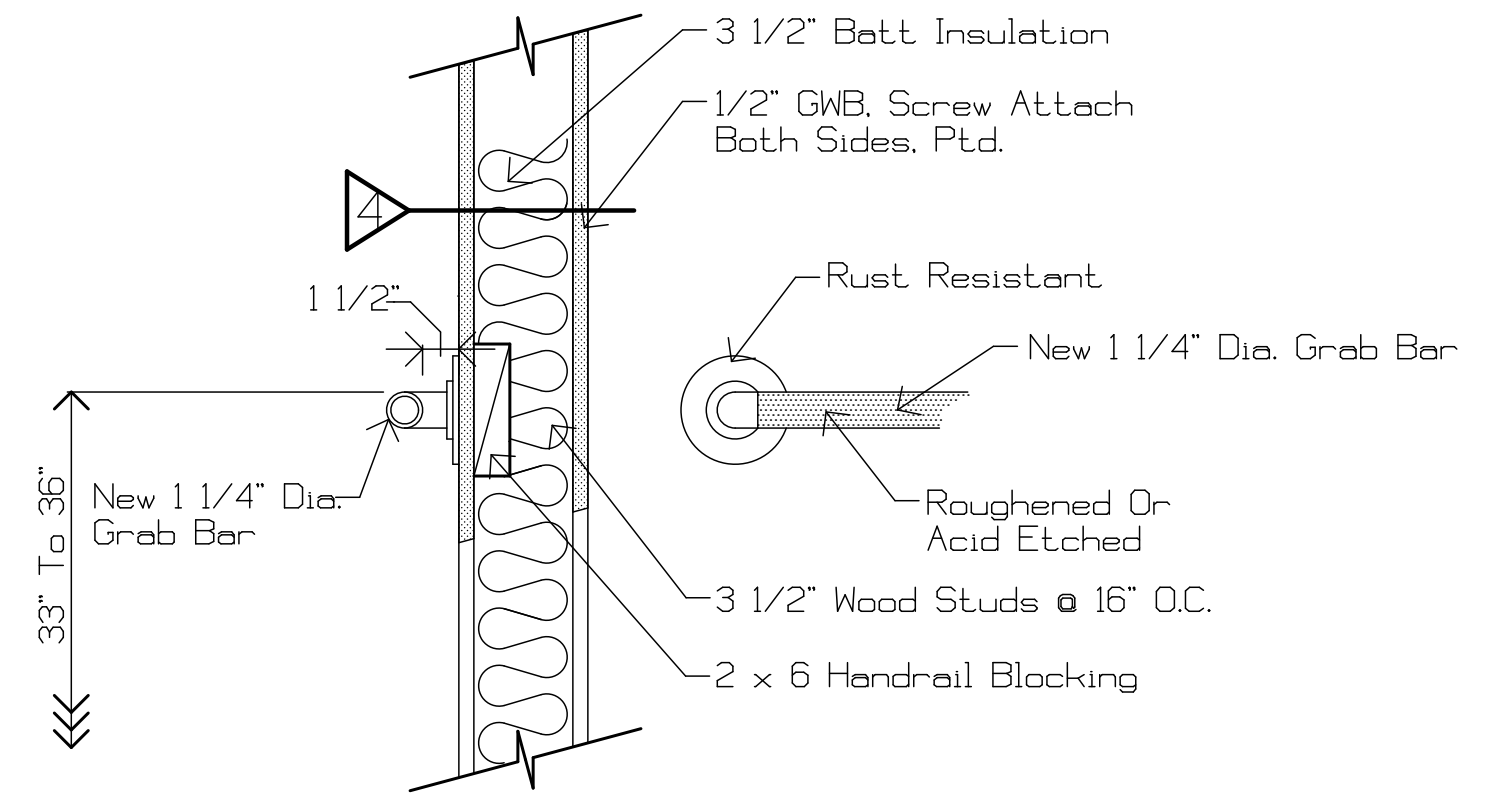
Note
See Hcp Notes And Accessories
All Clearances And Mounting Heights
Shall Comply With The Massachusetts
Architectural Access Board / ADA.



1 - Handicapped Elevation
1/2"=1'-0"



2 - Handicapped Elevation
1/2"=1'-0"



3 - Handicapped Handrail Detail
1 1/2"=1'-0"

Handicapped Lavatory Plan
Handicapped Elevations
Handicapped Notes
Handicapped Handrail Detail
Handicapped Wall Base Detail

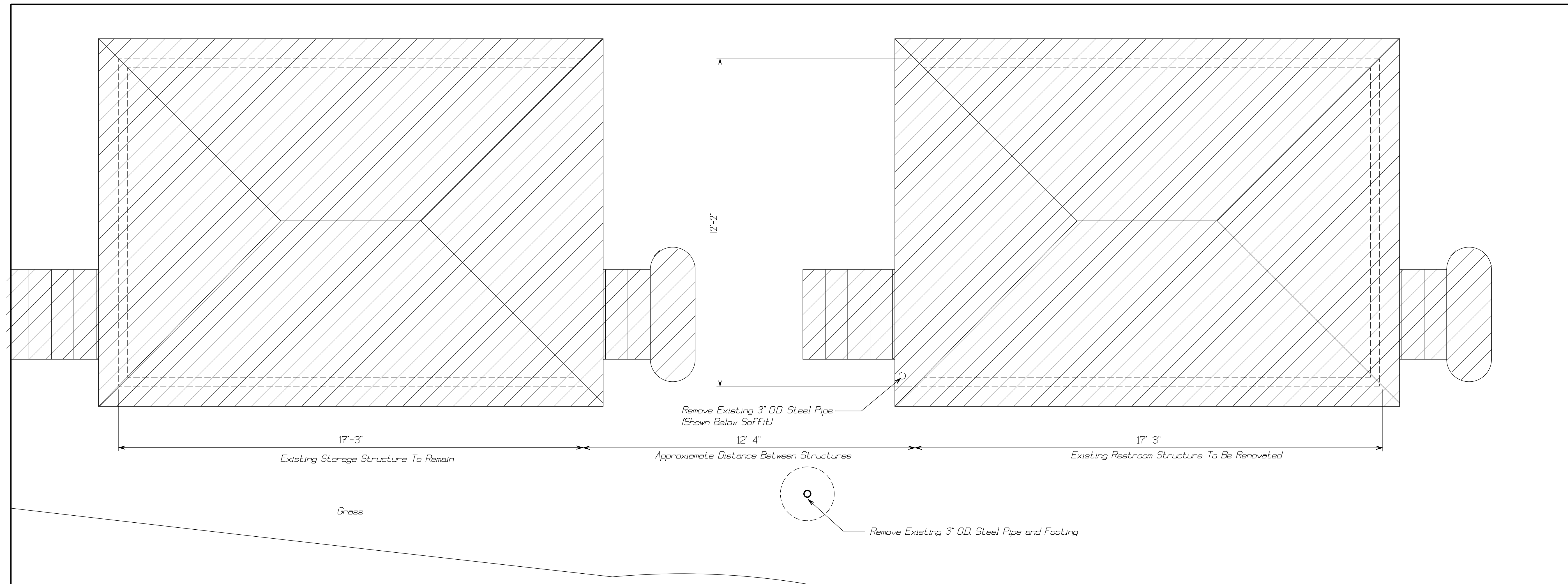
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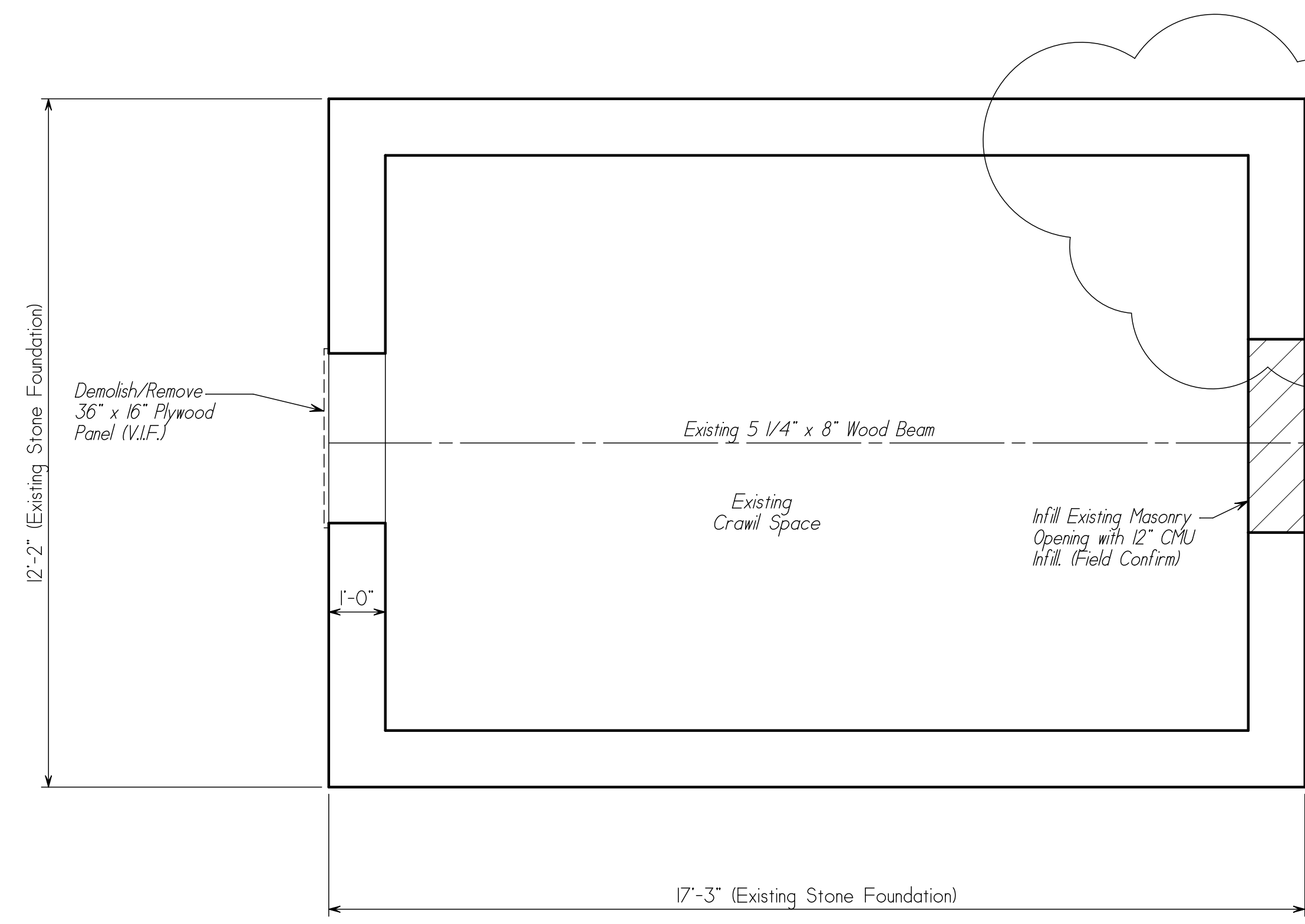


City of Salem with identify and mark all utilities on the site.
The Contractor shall tie into existing utility connections.

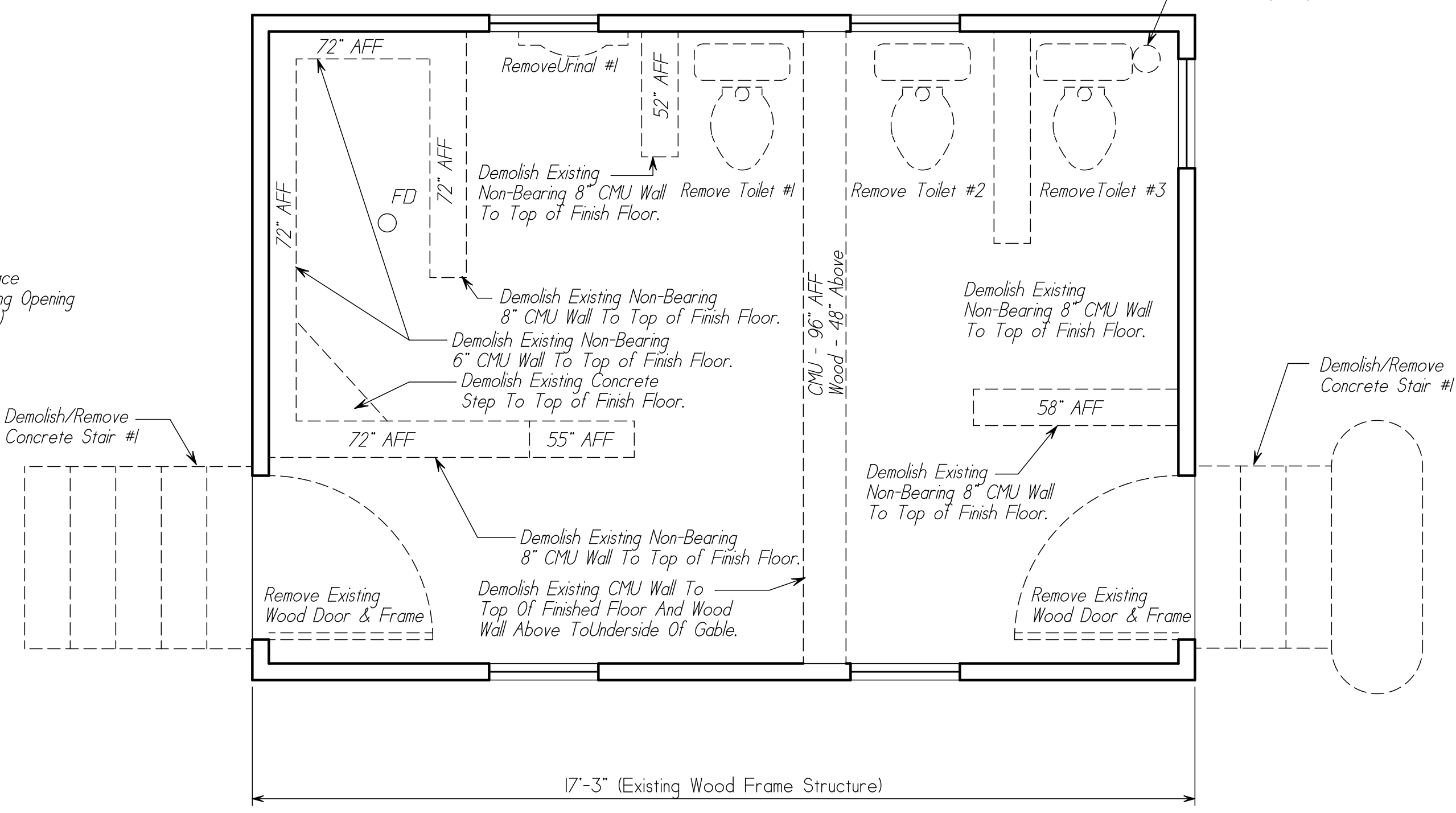
Roadway

1- Existing Building Layout
1/2"=1'-0"

- Contractor Shall Remove/Demolish All Existing Water Pipes and Sewage Pipes and Fixtures. Not To Be Used In New Plumbing Layout.
- Contractor Shall Remove/Demolish All Existing Electrical Wiring and Switches. Not To Be Used In The New Electrical Layout.
- Contractor Shall Remove All Wood Blocking.
- Demolish/Remove Existing Stack Pipe Up Thru Roof.



2- Crawl Space Plan
1/2"=1'-0"



3- Existing Restroom Structure #2
1/2"=1'-0"

Demolition Plan

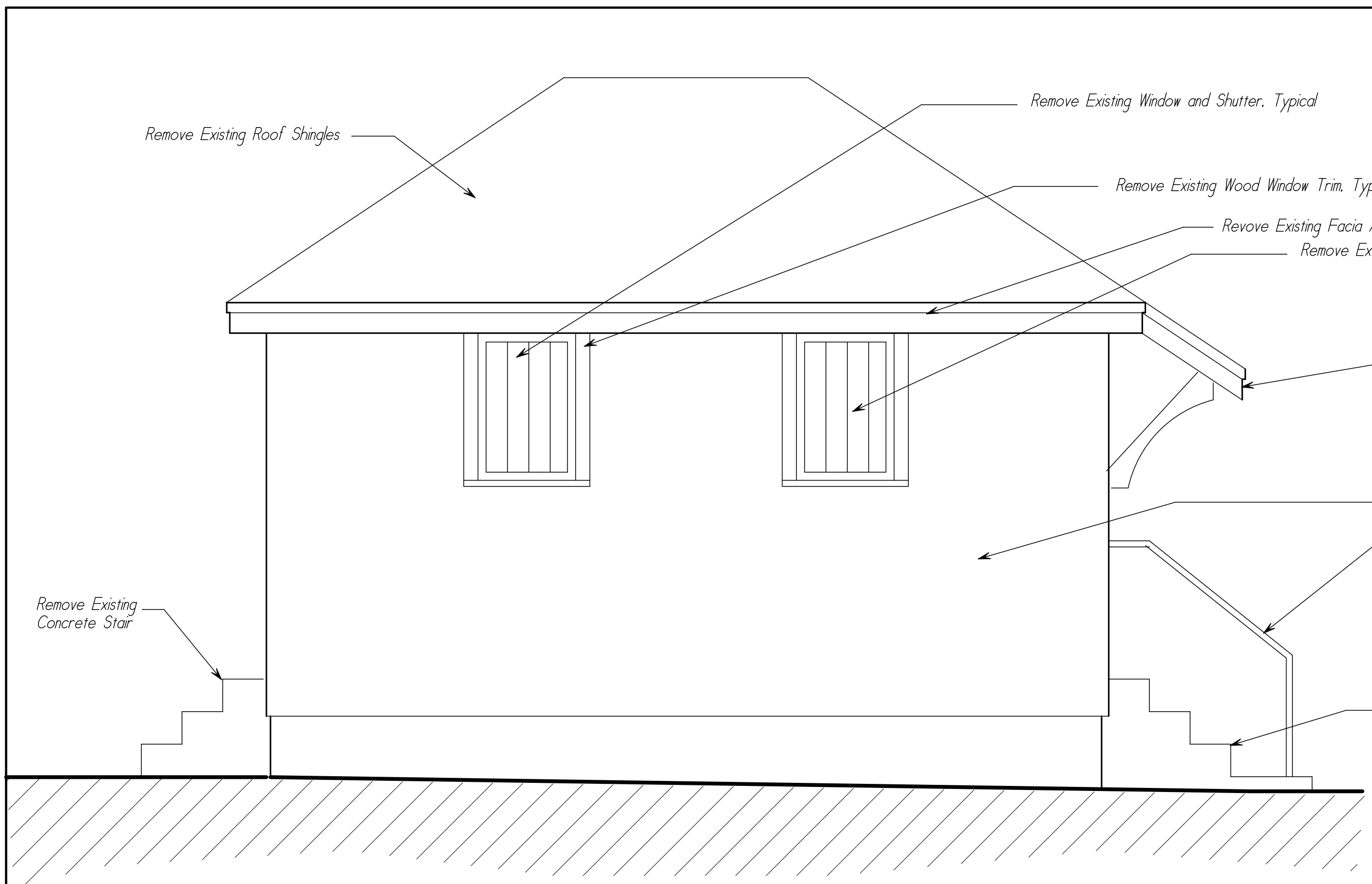
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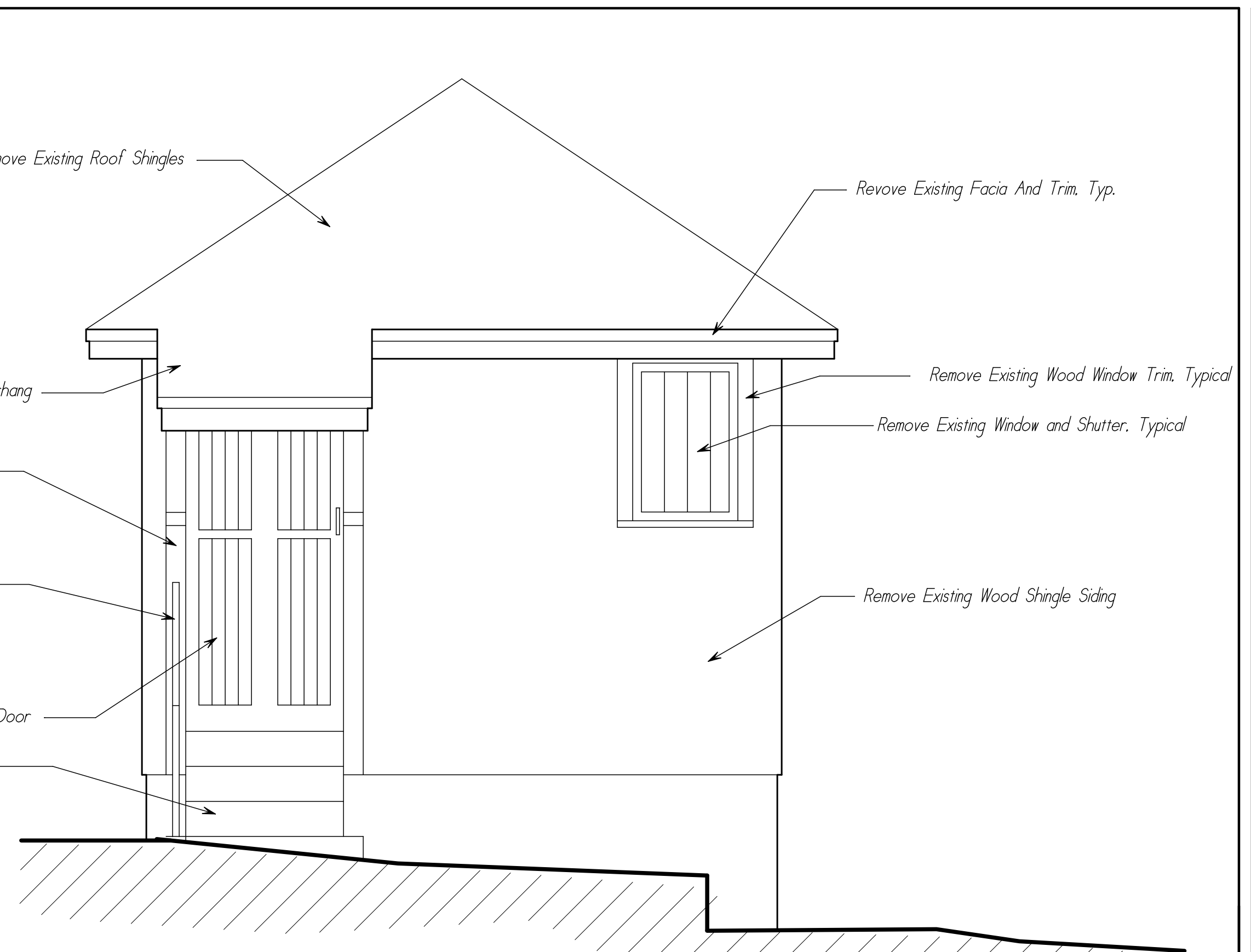
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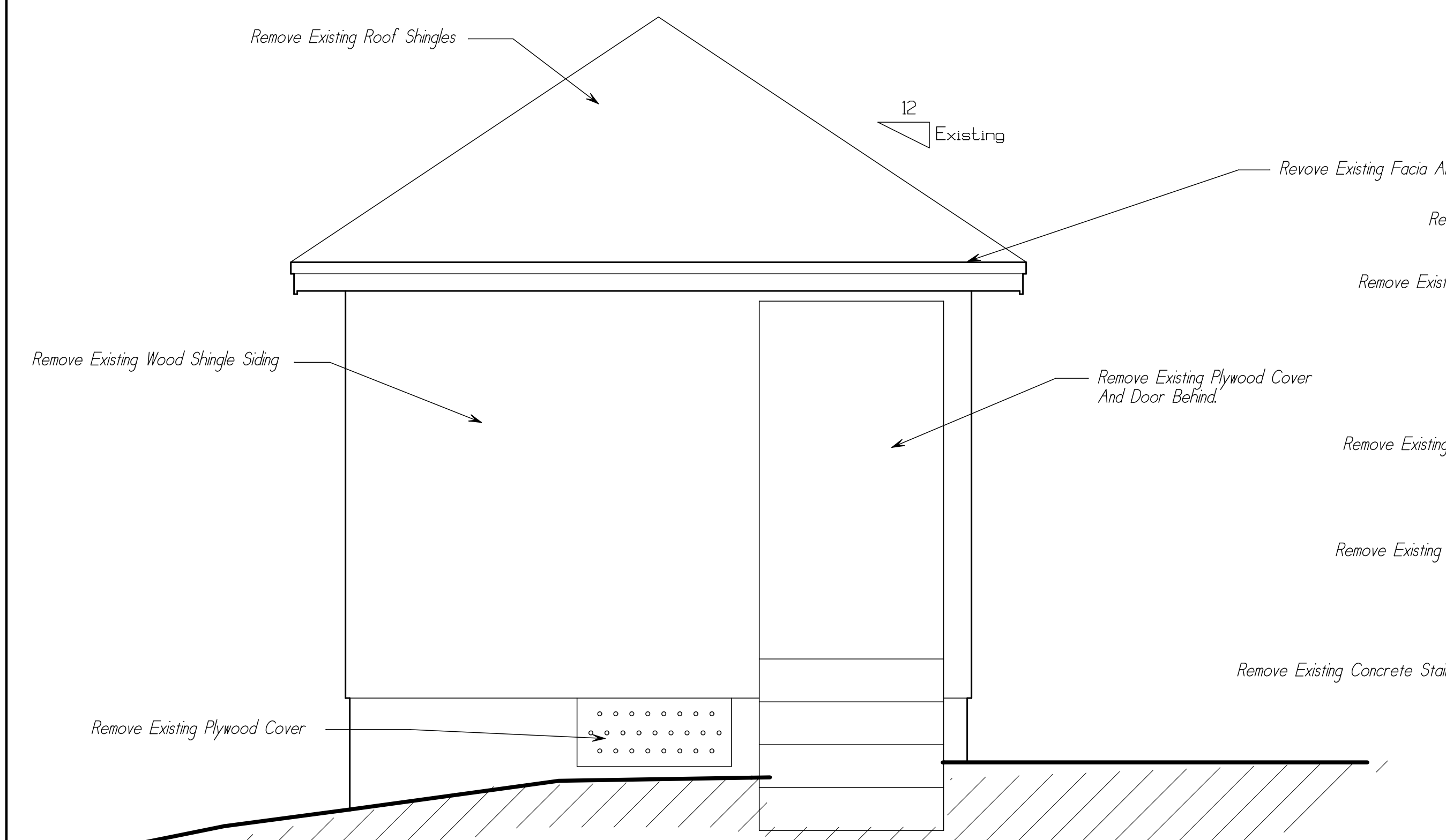
D1



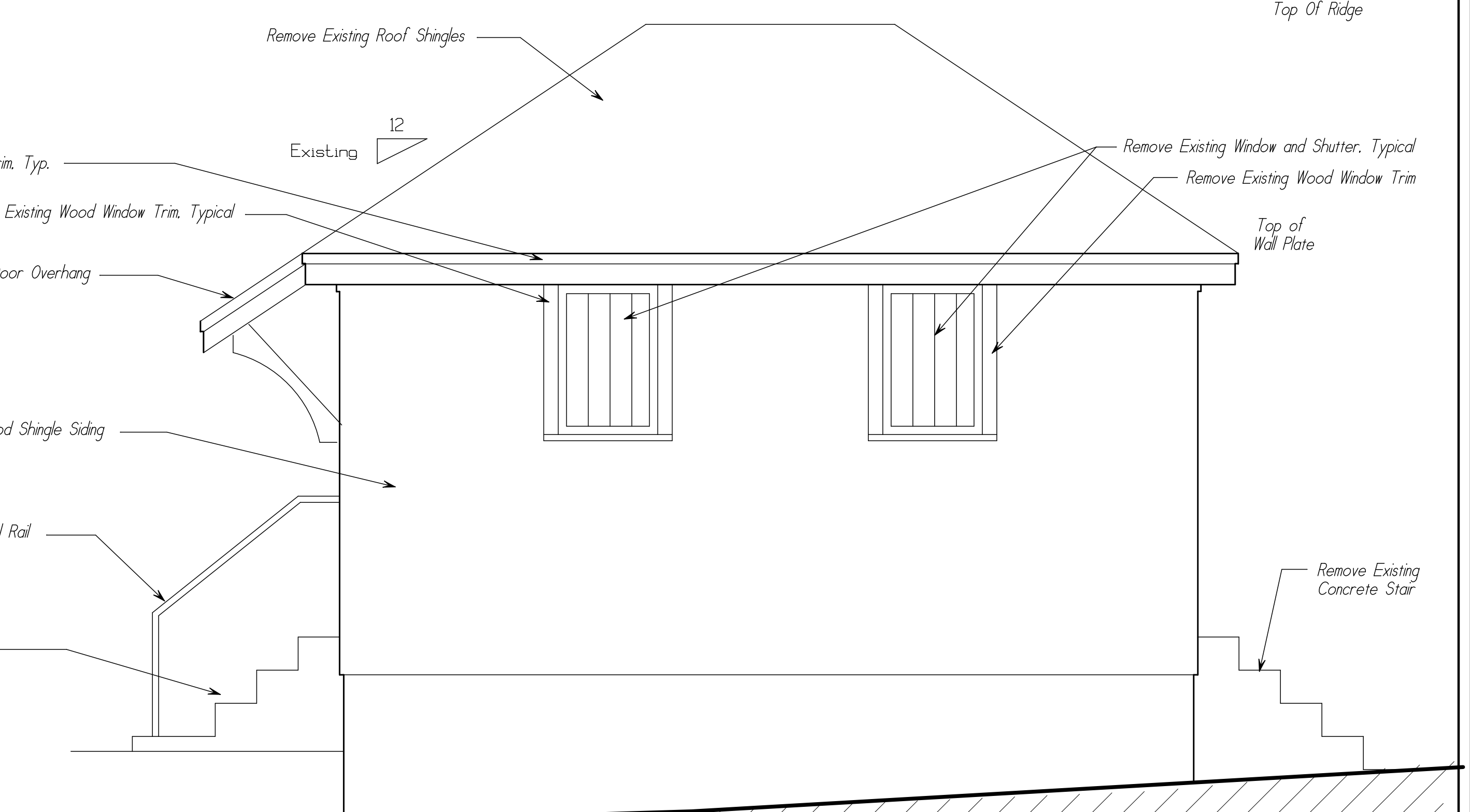
1 - Front Elevation (Roadway)
1/2"=1'-0"



2 - Right Elevation
1/2"=1'-0"



2 - Left Elevation
1/2"=1'-0"



4 - Rear Elevation
1/2"=1'-0"

Existing Front Elevation
Existing Right Elevation
Existing Rear Elevation
Existing Left Elevation

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D2